




**CITY OF HOLLYWOOD, FLORIDA  
INTER-OFFICE MEMORANDUM  
PLANNING AND DEVELOPMENT SERVICES**

**DATE:** June 28, 2011 **FILE:** 10-MV-17a

**TO:** Historic Preservation Board

**VIA:** Andria Wingett, Planning Manager 

**VIA:** Julie Walls Krolak, Principal Planner 

**FROM:** Elizabeth Chang, Planning and Development Services Administrator 

**SUBJECT:** Dr. Peter Sullivan requests Variances and Certificate of Appropriateness for Demolition for renovations to an existing single-family home located at 1128 N. Northlake Drive in the Lakes Area Historic Multiple Resource Listing District.

**APPLICANT REQUEST**

Variances and Certificate of Appropriateness for Demolition for renovations to an existing single-family home.

**STAFF'S RECOMMENDATION**

Certificate of Appropriateness for Demolition: To be determined by the Historic Preservation Board.

Variance 1: Approval, if Certificate of Appropriateness for Demolition is obtained.

Variance 2: Approval, if Certificate of Appropriateness for Demolition is obtained.

**HISTORY**

On April 27, 2010, the Historic Preservation Board approved a Variance and Design for an existing single-family home located at 1128 N. Northlake Drive. The home was originally designed by Claus R. Moberg, a prominent Hollywood architect during the 1950's and 60's. According to the Design Guidelines, Moberg's residential work included several custom homes in which he worked closely with clients to personalize their design. His designs used materials in a graphic manner such as large bands of brick or stone to define specific areas of importance such as entries. Furthermore, Moberg's designs took place during the Mid-Century Modern time period and appear to incorporate characteristics of Streamline/Art Moderne. This architectural style is noted for horizontal orientation, asymmetrical massing, chrome hardware, smooth stucco wall surfaces, flat roofs with coping, and subdued colors (i.e. light earth tones, off-whites or beiges, and bright or dark trim).

The approved renovations included an additional 200 sq ft to the first floor, approximately 890 sq ft to the second floor, a new garage, and façade renovations. Additionally, a new grass

Historic Preservation Board to the City Commission regarding demolition.

In order to maintain a historical record of the building, the Board may request the Hollywood Historical Society, or the owner at the owner's expense, document and record the property for the archival record. Such documentation may include measured drawings and large-scale photography. In addition, the Historic Preservation Board may require the applicant to place a marker on the property which provides the historic background of the structure.

#### **SITE BACKGROUND**

**Applicants/Owners:** Dr. Peter Sullivan  
**Address/Location:** 1128 N. Northlake Drive  
**Size of Property:** approximately 0.57 acres  
**Present Zoning:** Single Family Residential (RS-9)  
Lakes Area Historic Multiple Resource Listing District (HMPRLD-1)  
**Present Land Use:** Single Family Residence  
**Year Built:** 1952 (Broward County Property Appraiser)

#### **ADJACENT ZONING**

**North:** Single Family Residential District (RS-6)  
Lakes Area Multiple Resource Listing District (HMPRLD-1)  
**South:** Government Use District (GU)  
**East:** Single Family Residential District (RS-9)  
Lakes Area Multiple Resource Listing District (HMPRLD-1)  
**West:** Single Family Residential District (RS-9)  
Lakes Area Multiple Resource Listing District (HMPRLD-1)

#### **CONSISTENCY WITH THE COMPREHENSIVE PLAN**

Within the Comprehensive Plan, the primary goal of the Land Use Element is to "promote a distribution of land uses that will enhance and improve the residential, business, resort and natural communities while allowing the land owners to maximize the use of their property."

Demolition of portions of the structure allows the applicant to make the necessary improvements while maximizing the use of their property. By allowing the applicant to improve the structure, the City is accomplishing the desired reinvestment in an existing contributing site in the Lakes Area Historic Multiple Resource Listing District while maintaining the character of the neighborhood.

#### **CONSISTENCY WITH THE CITY-WIDE MASTER PLAN**

The City-Wide Master Plan (CWMP) places a priority on protecting, preserving and enhancing residential neighborhoods. It addresses the need for strict design controls to maintain the individual character of each neighborhood. The proposed renovations and additions are sensitive to the character of the Historic Lakes Section through its design which is similar to existing structures in the surrounding neighborhood.

*Policy CW.15: Place a priority on protecting, preserving and enhancing residential neighborhoods.*

*Policy 2.46 encourages the preservation of stable neighborhoods and rehabilitation initiatives that*

architectural landmark or site.

**ANALYSIS:**

The Historic District Design Guidelines recommend *identifying, retaining and preserving buildings which are important in defining the overall historic character of a historic district or neighborhood*. According to information from the applicant, the original structure was built in 1952. Although the site is not individually designated, it embodies distinctive characteristics of a type, period or method of construction. The home was originally designed by Claus R. Moberg, a prominent Hollywood architect during the 1950's and 60's. According to the Design Guidelines, Moberg's residential work included several custom homes in which he worked closely with clients to personalize their design. His designs used materials in a graphic manner such as large bands of brick or stone to define specific areas of importance such as entries. Furthermore, Moberg's designs took place during the Mid-Century Modern time period and appear to incorporate characteristics of Streamline/Art Moderne. This architectural style is noted for horizontal orientation, asymmetrical massing, chrome hardware, smooth stucco wall surfaces, flat roofs with coping, and subdued colors (i.e. light earth tones, off-whites or beiges, and bright or dark trim). The applicant is proposing to demolish and rebuild portions of exterior walls. It is by determination of the Historic Preservation Board as to whether the existing structure is considered historic or non-historic.

As stated by the applicant, "Following selective demolition of the structure, unforeseen structural conditions were found with the existing floor system, tie beams and existing concrete block structure." Should the Historic Preservation Board determine the structure non-historic no further action is required and a Certificate of Appropriateness for Demolition shall be issued. If the structure is found historic or of historic significance a recommendation will be made by the Board to the City Commission regarding demolition.

**CRITERION 2:**

The building, structure, improvement, or site is of such design, craftsmanship, or material that it could be reproduced only with great difficulty and/or expense.

**ANALYSIS:**

According to the Historic District Design Guidelines, *demolition may be undertaken if the structure does not exhibit stylistic details or fine workmanship*. As previously stated, the home was designed by Claus R. Moberg and is considered to be Streamline/Art Moderne. The request for demolition will allow the applicant to continue with the previously approved design while improving structural stability of the home. According to the applicant, "The plans call for rebuilding the walls that will be demolished keeping the original style and appearance intact. The purpose of demolition will be to allow the structure to be brought up to current code in a cost effective manner." Furthermore, the contractor states, "I believe there is no choice other than to remove the existing structure down to the existing grade beams to accomplish a code compliant structure. The cost to save the structure would be approximately \$178,000.00 compared to the cost to remove and rebuild at \$83,000.00."

**CRITERION 3:**

The building, structure, improvement, or site is one of the last remaining

continue with the previously approved plans with minor changes including adding an additional 37 sq ft to a second floor bedroom, increasing the garage height, and removal of the previously approved roof top deck and staircase and the rear.

**CRITERION 7:** The Unsafe Structures Board has ordered the demolition of a structure or the feasibility study determines that the retention of the building would deny the owner of all economically viable uses of the property.

**ANALYSIS:** The Historic District Design Guidelines state *one of the factors to consider demolition is persuasive evidence to show that retention of the building is not technically or economically feasible.* Demolition has not been ordered by the Unsafe Structures Board. As stated by the applicant, "The structure has not been reviewed by the Unsafe Structures Board. The decision to request a demolition permit was reached after analysis of unforeseen conditions by the structural engineer and contractor." As stated by the contractor, "I believe there is no choice other than to remove the existing structure down to the existing grade beams to accomplish a code compliant structure. The cost to save the structure would be approximately \$178,000.00 compared to the cost to remove and rebuild at \$83,000.00."

**CRITERION 8:** The information listed in the Historic Properties Database (a listing of historic and non-historic properties) has been considered as a guideline in determining whether a Certification of Appropriateness for Demolition should be issued.

**ANALYSIS:** While the home is not individually designated, it was designed by Claus R. Moberg, a prominent Hollywood architect during the 1950's and 60's. According to the Design Guidelines, Moberg's residential work included several custom homes in which he worked closely with clients to personalize their design. The applicant is proposing to demolish exterior walls and rebuild in order improve the structural stability.

#### **VARIANCE 1**

**Waive the required front yard setback of 80 ft to allow 43 ft.**

#### **VARIANCE 2**

**Waive the required combined side yard setback of 32.6 ft (with no side yard less than 7.5 ft) to allow a combined side yard setback of 17 ft , minimum 5.5 ft (east) and 11.5 ft (west).**

The following criteria are listed in the Zoning and Land Development Regulations Section 5.6 J (1) and are utilized in evaluating Variances:

**CRITERIA 1:** That the requested Variance maintains the basic intent and purpose of the subject regulations including the Historic District Regulations, Guidelines and Resolutions, particularly as it affects the stability and appearance of the City.

**ANALYSIS:** The purpose of required setbacks is to provide landscaping and safe distances not only between adjacent structures, but also structures and right-of-ways. The

**ANALYSIS:** The request for the Variances is to waive the required front yard setback of 80 ft and combined side yard setbacks to allow the existing nonconforming setbacks to be maintained with the new structure. The Variances will allow for exterior walls to be demolished and rebuilt. As stated by the applicant, "During the initial phase of the project that included preparing the structure for the previously approved addition and renovation, unforeseen structural problems were uncovered...This floor system cannot support elements of the original plans including the stairs to the second story. These structural problems could not be known prior to selective demolition of the structure." The purpose of required setbacks is to provide landscaping and safe distances not only between adjacent structures, but also structures and right-of-ways.

It is the applicant's intent to maintain the existing setbacks of 43 ft (front), 11.5 ft (west), and 5.5 (east). These setbacks will not be encroaching any further into the front and side yards and will be within the same footprint of the existing structure. With the current design and existing setback, the architectural integrity of Claus Moberg's Mid-Century Modern will be maintained while allowing for the space to be utilized.

**FINDING:** Consistent.

**CRITERIA 5:** That the Variance is necessary to comply with State or Federal Law and is the minimum Variance necessary to comply with the applicable law.

**FINDING:** Not applicable.

### **RECOMMENDATION**

**Certificate of Appropriateness for Demolition:** To be determined by the Historic Preservation Board.

**Variance 1:** Approval, if Certificate of Appropriateness for Demolition is obtained.

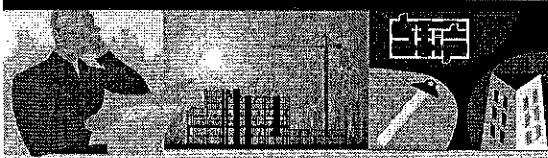
**Variance 2:** Approval, if Certificate of Appropriateness for Demolition is obtained.

### **ATTACHMENTS**

**ATTACHMENT A:** Application Package  
**ATTACHMENT B:** Aerial Photograph  
**ATTACHMENT C:** Zoning and Land Development Regulations Section 5.6.E & F, Certificate of Appropriateness  
**ATTACHMENT D:** Previously Approved Board Resolution

**ATTACHMENT A**  
Application Package

OFFICE OF PLANNING



File No. (to be filled by the Office of Planning) 11-MV-17a

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.

The applicant is responsible for obtaining the appropriate checklist for each type of application.

Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.

At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).

Documents and forms can be accessed on the City's website at [http://www.hollywoodfl.org/comm\\_planning/appforms.htm](http://www.hollywoodfl.org/comm_planning/appforms.htm)



APPLICATION TYPE (CHECK ONE):

- Development Review Board
- Planning and Zoning Board
- City Commission
- Historic Preservation Board
- Technical Advisory Committee

Date of Application: 6/15/2011

Location Address: 1128 N. Northlake Drive.  
Lot(s): 1, 2, 3 Block(s): 42 Subdivision: Hollywood Lakes.  
Folio Number(s): 514214 017040

Zoning Classification: Residential Land Use Classification: Single Family  
Existing Property Use: SF Residential Sq Ft/Number of Units: ~4500 sq ft

Is the request the result of a violation notice? ( ) Yes (X) No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): 10-CV-17

- Economic Roundtable
- Planning and Zoning Board
- Technical Advisory Committee
- Historic Preservation Board
- Development Review Board
- City Commission

Explanation of Request: Request for partial demolition and variance.

Number of units/rooms: \_\_\_\_\_ Sq Ft: \_\_\_\_\_

Value of Improvement: \_\_\_\_\_ Estimated Date of Completion: \_\_\_\_\_

Will Project be Phased? ( ) Yes (X) No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: Peter J. Sullivan

Address of Property Owner: 1128 N. Northlake Drive

Telephone: (954) 374-9473 Fax: \_\_\_\_\_ Email Address: \_\_\_\_\_

Name of Consultant/Representative/Tenant (circle one): Annie Carruthers.

Address: 1546 Jackson St. Hollywood, FL Telephone: (954) 921-5333

Fax: \_\_\_\_\_ Email Address: \_\_\_\_\_

Date of Purchase: 12/15/2009 Is there an option to purchase the Property? Yes ( ) No ( )

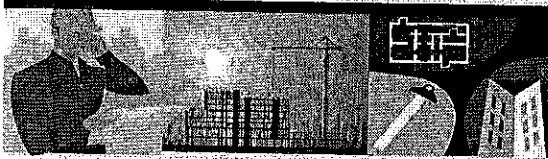
If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

OFFICE OF PLANNING



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

GENERAL APPLICATION

**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: *Peter J. Sullivan* Date: 6/10/2011

PRINT NAME: Peter J. Sullivan Date: 6/10/2011

Signature of Consultant/Representative: *AM* Date: 6/10/2011

PRINT NAME: ANNIE CARRUTHERS Date: 6/10/2011

Signature of Tenant: \_\_\_\_\_ Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_ Date: \_\_\_\_\_

**CURRENT OWNER POWER OF ATTORNEY**

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) partial demolition & variance to my property, which is hereby made by me or I am hereby authorizing (name of the representative) Annie Carruthers to be my legal representative before the Historic Board (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me  
this 14<sup>th</sup> day of June, 2011

*Peter J. Sullivan*  
SIGNATURE OF CURRENT OWNER

*Arnetta J. Moore*  
Notary Public State of Florida

Peter J. Sullivan  
PRINT NAME

My Commission Expires 9/24/2013 (Check One) Personally known to me; OR Provided  
ARNETTA J. MOORE  
Comm# DD0905837  
Expires 9/24/2013  
Florida Notary Assn., Inc  
FL Drivers Lic SH15-670-73244-0



Property address: 1128 N. Northlake Drive  
Hollywood, FL 33019

Petition for variance to maintain existing and previously approved setbacks for building project.

During the initial phase of the project that included preparing the structure for the previously approved addition and renovation, unforeseen structural problems were uncovered including concrete block construction without filled cells or rebar reinforcement, brick sections of wall instead of concrete block, lack of structural ties between the grade beam and concrete block walls, lack of filled corner beams, second floor tie beam below the planned level of the second story and a floating floor system (rather than poured concrete slab) without ties to the pilings, grade beams or concrete block walls. This floor system cannot support elements of the original plans including the stairs to the second story. These structural problems could not be known prior to selective demolition of the structure.

After review of these problems, the structural engineer recommends partial demolition of some of the concrete block walls to level of the grade beams as well as removal of the floating floor system. The portions of concrete block wall will be rebuilt with the code required filled cells, corner beams and ties to the grade beams. The walls will be rebuilt on top of the existing grade beams in the same location as the existing first floor walls and will maintain the existing setbacks. With the new wall construction, the tie beam for the second story will be properly located. The brick sections of wall will be rebuilt with typical concrete block construction. The floating floor system will be replaced with a monolithic slab with pilings properly placed to support the stairs and other structural elements for the second story. The new slab and concrete block walls will be built to meet current code requirements.

In its current condition, the building is in a state of partial demolition and cannot be rebuilt properly and to code without rebuilding the walls. We respectfully request a variance to maintain the existing setbacks previously approved by the board.

Property Address: 1128 N. Northlake Drive, Hollywood, FL

Proposed changes to originally approved plans:

1. Demolition of concrete block wall sections.
2. Second floor bedroom expansion
3. Increase of garage door height to 8 feet.
4. Removal of roof top deck from rear of building.

Provided in the submittal package are supporting letters from the contractor, Roger Rex of Pass International Inc. and Gary McDougale, PE of Specialty Engineering Consultants, Inc.

Following selective demolition of the structure, unforeseen structural conditions were found with the existing floor system, tie beams and existing concrete block structure. This submittal requests approval of demolition of concrete block wall sections that will be rebuilt up to current building codes, expansion of a second floor bedroom to simplify a second story concrete support beam, increase the height of the garage doors to accommodate homeowner's SUV and removal of the rooftop deck from the plans to offset the increased cost associated with these changes due to unforeseen structural conditions.

#### **DECISIONS ON CERTIFICATES OF APPROPRIATENESS FOR DEMOLITION FOR EXISTING STRUCTURE**

The Zoning and Land Development Regulations Section 5.6.F.5.d states the Historic Preservation Board shall consider the following criteria in evaluating an application for a Certificate of Appropriateness for Demolition.

**CRITERION 1:** The building, structure, improvement, or site is designated on either a National, State, or Local level as an historic preservation district or an architectural landmark or Site.

**ANALYSIS:** The structure is in the historic Hollywood Lakes neighborhood. The overall design and appearance of the structure will be in keeping with houses in this neighborhood and will not adversely affect the historic nature of the area.

**CRITERION 2:** The building, structure, improvement, or site is of such design, craftsmanship, or material that it could be reproduced only with great difficulty and/or expense.

**ANALYSIS:** The plans call for rebuilding the walls that will be

demolished keeping the original style and appearance intact. The purpose of demolition will be to allow the structure to be brought up to current code in a cost effective manner.

**CRITERION 3:** The building, structure, improvement, or site is one of the last remaining examples of its kind in the neighborhood, the county, or the region.

**ANALYSIS:** The structure is one of many houses in the Hollywood Lakes section built with mid century modern architecture. The changes to the plans will not adversely affect the original design approved by the board.

**CRITERION 4:** The building, structure, improvement, or site contributes significantly to the historic character of a historically designated district.

**ANALYSIS:** The structure is one of many homes in the Hollywood Lakes neighborhood with mid century modern design elements. The requested changes to the structure do not adversely affect the originally approved design or detract from the historic aspects of the neighborhood.

**CRITERION 5:** Retention of the building, structure, improvement, or site promotes the general welfare of the city by providing an opportunity for study of local history, architecture, and design or by developing an understanding of the importance and value of a particular culture and heritage.

**ANALYSIS:** The completed structure will pay homage to the original mid century modern architectural style. However unlike the existing structure, the completed structure will meet all current building codes.

**CRITERION 6:** There are definite plans for reuse of the property if the proposed demolition is carried out, and those plans will adversely affect the historic character of the Historic District.

**ANALYSIS:** There are definite plans to rebuild the sections slated for demolition. The homeowner plans to use the structure as a primary residence following completion of the construction project.

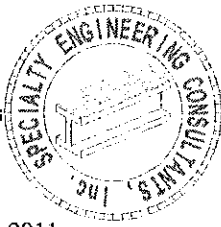
**CRITERION 7:** The Unsafe Structures Board has ordered the demolition of a structure or the feasibility study determines that the retention

of the building would deny the owner of all economically viable uses of the property.

**ANALYSIS:** The structure has not been reviewed by the Unsafe Structures Board. The decision to request a demolition permit was reached after analysis of unforeseen conditions by the structural engineer and contractor.

**CRITERION 8:** The information listed in the Historic Properties Database (a listing of historic and non-historic properties) as a guideline in determining whether a Certification of Appropriateness for Demolition should be issued.

**ANALYSIS:** The decision to request permits for demolition have been guided by analysis and recommendations of the structural engineer and the contractor.



June 6, 2011

Mrs. Annie Carruthers  
In-Site Design  
1609 Rodman Street  
Hollywood, FL

**RE: SULLIVAN RESIDENCE, 1128 NORTH NORTHLAKE DRIVE, HOLLYWOOD, FL  
EXISTING CMU WALL REPLACEMENT**

Dear Mrs. Carruthers:

Pursuant to your request on Thursday, April 28, 2011, we visited the referenced home to perform a visual inspection of the in-progress demolition of portions of the home. Part of inspection was to review the existing masonry walls. The existing walls are comprised of unreinforced masonry units with concrete columns in some areas.

Given the following conditions:

1. Numerous openings are being modified for different size openings, width and height.
2. New openings are being added into the existing walls
3. New walls are being added on top of the existing walls and there is general change in the configuration of the exterior walls.
4. There are new structural concrete beams to support various new components.
5. The existing walls do not appear to have any significant vertical reinforcing next to the existing or planned window and door openings.
6. Some areas are in filled with brick which will not allow for vertical reinforcing.
7. The existing garage roof is a cast-in-place concrete slab.

We recommend that the original masonry walls of the home be demolished to the level of the grade beam so that new walls can be constructed. This will allow for the following:

1. Proper lapping of the CMU in a running bond pattern.
2. Proper placement of new concrete beams and bond beams, cast into the walls.
3. Proper roof truss and rafter connections to the top of wall beam. This allows for a better connection of uplift and lateral load transfer with an embedded truss anchor. Embedded truss anchors allow for an insurance discount.
4. Will allow for better concrete beam placement at elevations that allow for proper alignment with other components.
5. Will allow for the garage roof beam to a single pour tied into the walls and will have embedded truss anchors.
6. The masonry units, grout, steel reinforcing, and concrete will comply with current ASTM and Building Code standards for strength, quality, and the expected performance. These components are better able to support the required loads with the required safety factors.

In general, this process of removal and replacement will allow for the building structural components to support and resist the Code prescribed wind and gravity loads because the components involved are interwoven and constructed as new construction.

We hope that you find this information helpful and should you have any questions please feel free to call on us.

Respectfully submitted,  
Specialty Engineering Consultants, Inc.

Gary McDougle, PE  
Vice President of Engineering

State of Florida:

Registered Professional Engineer: #0056214

Certificate of Authorization: #009217

1599 SW 30<sup>th</sup> Avenue, Suite 20 - Boynton Beach, FL 33426 - Office: 561-752-5440 - Fax: 561-752-5542



June 7, 2011

City of Hollywood  
Planning & Zoning Department  
2600 Hollywood Boulevard  
Hollywood, FL 33020

Reference: Sullivan Residence, 1128 N Northlake Drive, Hollywood, FL 33019

Dear Board Members,

After we demolished the interiors at 1128 N Northlake, we found numerous structural conditions that concerned us regarding the structural integrity and economic impact it would have on the renovation.

The following items were found:

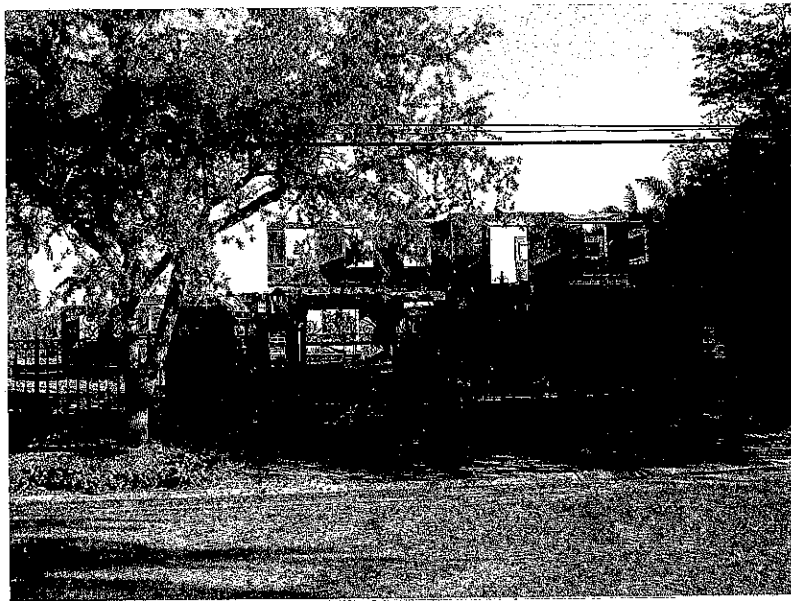
- The flooring system consists of precast concrete joists with 2 ½" X 2'-0" X 2'-0" concrete tiles. This system will not allow us to add additional loads directly to the floor system therefore the entire second floor and stairs would have to be redesigned with new foundations and the entire floor system would have to be removed to facilitate this.
- There are no poured cells in any of the exterior walls. They would have to be added at all corners, every 4' 0" on center and by every opening.
- The condition of the existing concrete tie beams are in question. It appears that the concrete may have been mixed with non-potable water.
- The elevation of the existing beams does not match with the new elevations required. Therefore, substantial additional structural costs to change the elevation of these beams would be incurred.
- The overall condition of the existing structure is poor and does not make economic sense to be repaired both in time and cost.

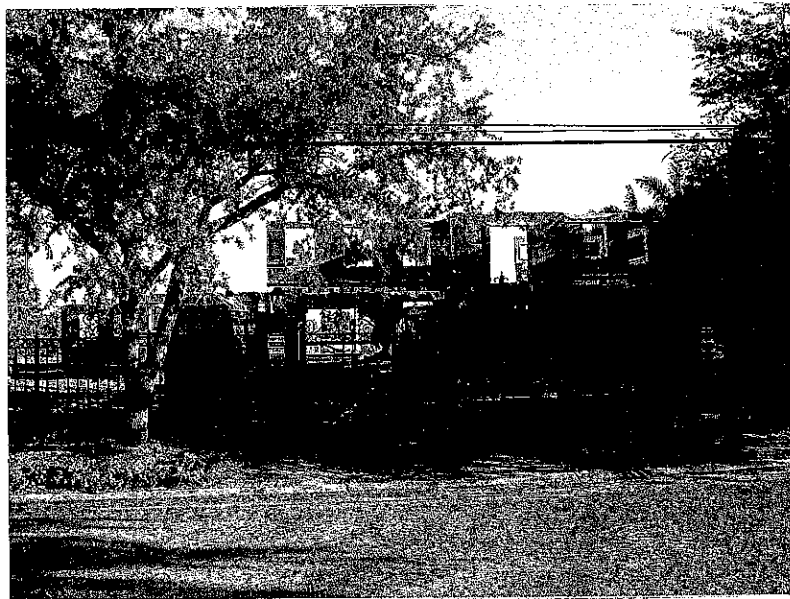
I believe there is no choice other than to remove the existing structure down to the existing grade beams to accomplish a code compliant structure. The cost to save the structure would be approximately \$178,000.00 compared to the cost to remove and rebuild at \$83,000.00. Please feel free to contact me should you have any questions.

Sincerely,

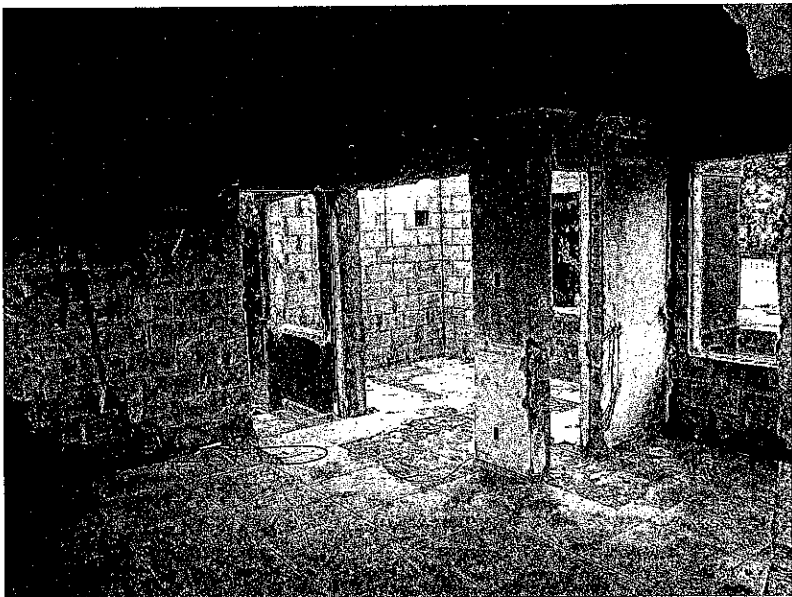
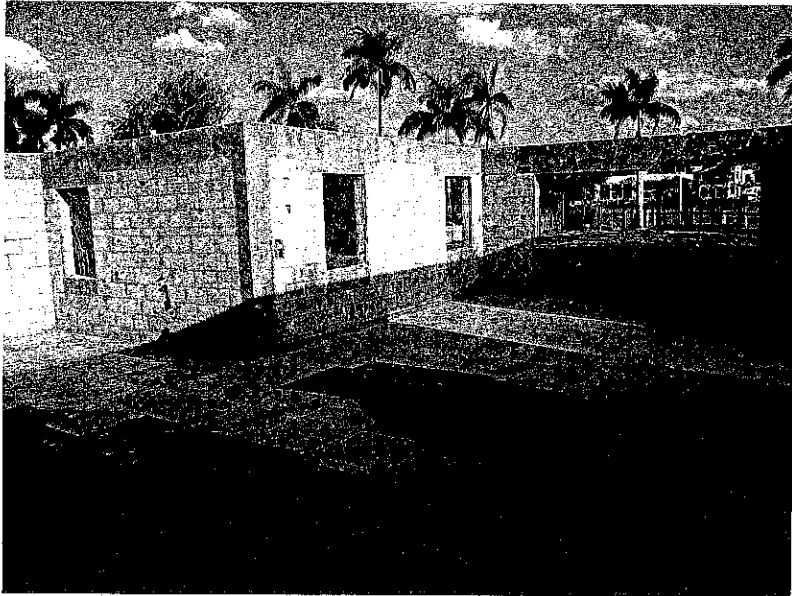
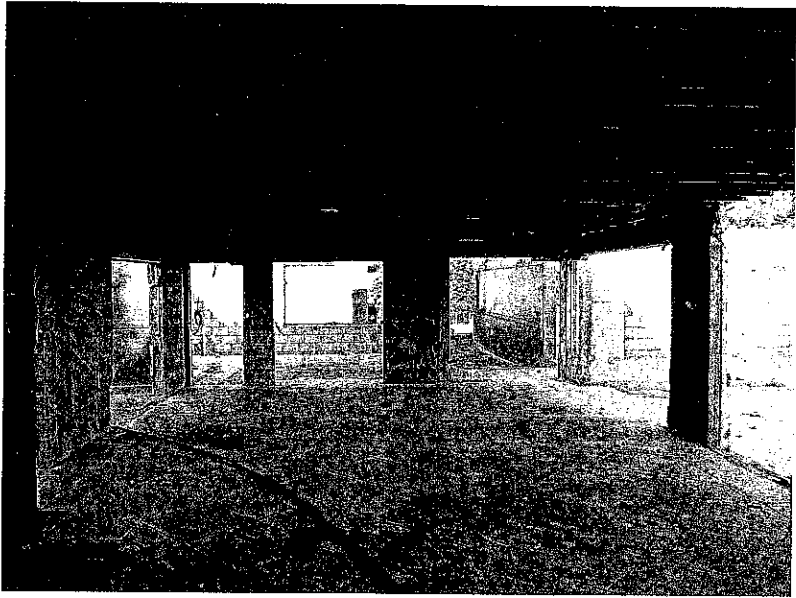


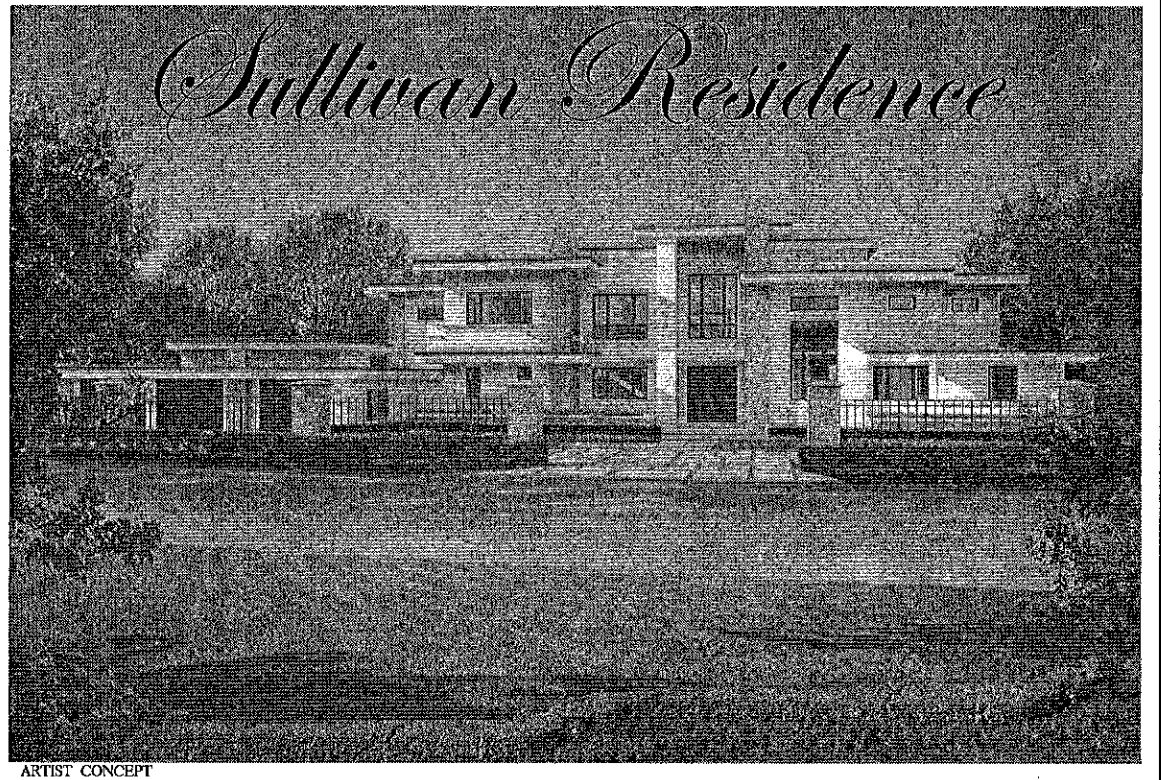
Roger Rex





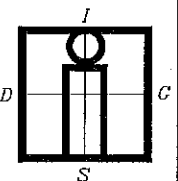






ARTIST CONCEPT

**PETER SULLIVAN**  
 1128 NORTH NORTHLAKE DRIVE, HOLLYWOOD, FLORIDA 33020  
**ARCHITECT**  
**IN - SITE DESIGN GROUP, INC.**  
 1609 RODMAN STREET, HOLLYWOOD, FLORIDA 33020 (954) 921-5333 (954) 635-7483 AA26001758  
**STRUCTURAL ENGINEER**  
**SPECIALTY ENGINEERING CONSULTANTS, INC.**  
 1599 SW 30 AVENUE SUITE 20 BOYNTON BEACH FLORIDA 33426 561-843-9110 GARY MC DOUGLE, P.E. 009217  
**MECHANICAL ELECTRICAL & PLUMBING ENGINEER**  
**E&E CONSULTING ENGINEERS, LLC**  
 1400 EAST OAKLAND PARK BLVD SUITE 108 FORT LAUDERDALE, FL 33334 954-566-9708 EUGENIO ERQUIAGA 15387  
**LANDSCAPE ARCHITECT**  
**KIM MOYER, A.S.L.A.**  
 4808 NE 16 AVENUE OAKLAND PARK, FL 33334 954-492-9609 KIM MOYER LA0000952



**IN-SITE DESIGN GROUP INC**  
 1609 RODMAN STREET  
 HOLLYWOOD, FLORIDA 33020  
 AA26001758  
 954 921 5333  
 FAX 954 921 6709  
 PROJECT COORDINATOR:  
 ANNIE CARRUTHERS  
 CGC 1511058  
 ARCHITECT  
 SAMUEL R. UCCELLO

SEAL  
 STATE OF FLORIDA LICENSE NO. AR-0012997

THESE DESIGN DRAWINGS ARE THE  
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 OR BY ANY INFORMATION STORAGE AND  
 RETRIEVAL SYSTEM, WITHOUT THE WRITTEN  
 PERMISSION OF THE ARCHITECT. ANY  
 VIOLATION OF THESE TERMS SHALL BE  
 CONSIDERED A BREACH OF CONTRACT AND  
 SUBJECT TO LEGAL ACTION.

PROJECT:  
 SULLIVAN RESIDENCE

ADDRESS:  
 1128 N. NORTHLAKE DR  
 HOLLYWOOD, FL 33019

DISTRIBUTION  
 APRIL - 16 - 2010  
 HISTORIC BOARD  
 SUBMITTAL  
 PETITION NO: 10-C-17  
 VARIANCE SUBMITTAL

JULY - 12 - 2010  
 PERMIT SUBMITTAL  
 B10-102987

JUNE - 8 - 2011  
 HISTORIC BOARD  
 RE SUBMITTAL

REVISIONS  
 HISTORIC BOARD  
 RESUBMITTAL  
 JUNE - 8 - 2011

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SP-1	EXISTING SITE PLAN	M-3	HVAC DETAILS/NOTES
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A-2	EXISTING SIDE (EAST AND WEST) ELEVATIONS	P-1	FIRST FLOOR WATER DISTRIBUTION PLAN
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A-8	NEW FIRST FLOOR PLAN		
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S-2	FIRST LFT BEAM PLAN		
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S-5	UPPER ROOF FRAMING PLAN		
S-6	STRUCTURAL NOTES AND DETAILS		
S-7			
S-8	STRUCTURAL DETAILS		

**PROJECT DATA**

**PROJECT: RESIDENTIAL ADDITION AND RENOVATION**

**SITE DATA**

OWNER: PETER SULLIVAN  
 ADDRESS: 1128 NORTH NORTHLAKE DRIVE, HOLLYWOOD, FL 33020  
 TAX FOLIO NUMBER: 0142-14-01-1040  
 CONSTRUCTION TYPE: TYPE V - NEW RESIDENCE ADDITION  
 HEIGHT (TO TOP OF ROOF): 24'-4"  
 OCCUPANCY TYPE: R-3  
 NET LOT AREA (TO NET FACE OF SEA WALL): 13805 X 22910 = 25,669 SQ FT  
 CONSTRUCTION: NEW ADDITION AND INTERIOR RENOVATION  
 PROJECT DESCRIPTION: 1296 SF ADDITION TO EXISTING RESIDENCE AND RENOVATION TO THE INTERIOR NEW ROOF AND EXTERIOR WINDOWS AND DOORS  
 EXISTING RESIDENCE A/C: 4,709 SQ FT  
 TOTAL SPACE TO BE ADDED: 1172 A/C - 160 SF TO BE REMOVED + 934 SF COVERED + 1786 SF  
 160 SF AIR CONDITIONED  
 NEW TOTAL AIR CONDITIONED SPACE: 5,931 SF EXISTING AND NEW  
 PERCENTAGE OF ALTERATION TO AGGREGATE AREA OF BLDG: 100% OF EXISTING LEVEL 3 ALTERATION - PEX EXISTING BUILDINGS 409  
 PERCENTAGE NEW TO EXISTING TO BE ADDED: 1172 SF NEW A/C - 160 SF A/C REMOVED + 362 SF 362/4,709 EXISTING A/C = 7.7%  
 ESTIMATED CONSTRUCTION COST: SEE APPLICATION  
 ZONING: R RESIDENTIAL  
 REMA FLOOD ZONE: ZONE AE  
 PROPOSED FINISHED FLOOR OF ROAD: 4'-1" TO 6" NGVD, OR 6" ABOVE CROWN OF ROAD  
 HIGHEST ADJACENT GRADE: 5.54'  
 MAP AND PANEL NO.: D10C0315  
 CROWN OF ROAD: 3.47'  
 HISTORIC BOARD VARIANCE: APPROVAL RECEIVED ON APRIL 21 2010 PETITION NO 10-CV-11

**AREA (BUILDING) TABULATIONS**

	EXISTING	PROPOSED	TOTAL PROPOSED
FIRST FLOOR A/C SPACE	3,606 SF	280 SF	3,886 SF
SECOND FLOOR A/C SPACE	1,103 SF	1,386 SF	2,489 SF
TOTAL A/C SPACE	4,709 SF	1,666 SF	6,375 SF
GARAGE	500 SF	301 SF	801 SF
COVERED TERRACES	106 SF	557 SF	663 SF
TOTAL	6,213 SF	2,004 SF	8,217 SF

**LEGAL DESCRIPTION**

HOLLYWOOD LAKES SECT 1-32 B LOT 1 E 5050, 73 W 30 BLK 41 TOG WITH LAND LYING S. OF LOTS 4 N OF LAKE LESS N 30 FOR 81' ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1 AT PAGE 31 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SEE SURVEY AND SHEET 691 FOR FULL LEGAL DESCRIPTION.

**ANY APPLICABLE RESOLUTION**

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE OTHER ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. APPLICANTS WILL COMPLY WITH ANY APPLICABLE CITY ORDINANCE INCLUDING PERMIT APPLICATION, REVIEW AND APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

**APPLICABLE CODES**

ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING CODES:  
 THE FLORIDA BUILDING CODE 2001  
 THE FLORIDA BUILDING CODE 2001 EXISTING BUILDINGS  
 NFPA 96 LIFE SAFETY CODE  
 BASIC WIND SPEED (WIND) NO. EXPOSURE C  
 ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2001 FLORIDA BUILDING CODE AND 2009 AMENDMENTS (TYP).

**SITE PLAN NOTES:**

- REFER TO THE RECORDED PLAT FOR INFORMATION RELATED TO THIS PROPERTY.
- REFER TO LEGAL DESCRIPTION FOR SITE GEOMETRY, BOUNDARIES, ELEVATIONS AND LOCATION OF EXISTING STRUCTURES.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK IF ANY DISCREPANCY ARISES PLEASE NOTIFY THE ARCHITECT IMMEDIATELY AND PRIOR TO COMMENCEMENT OR CONTINUATION WITH THE WORK IN QUESTION.
- GENERAL CONTRACTOR TO VISIT SITE PRIOR TO BIDDING AND VERIFY ALL EXISTING CONDITIONS.
- GENERAL CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES, SEWER, WATER AND ELECTRICAL CONNECTIONS BEFORE BIDDING.

**SETBACKS**

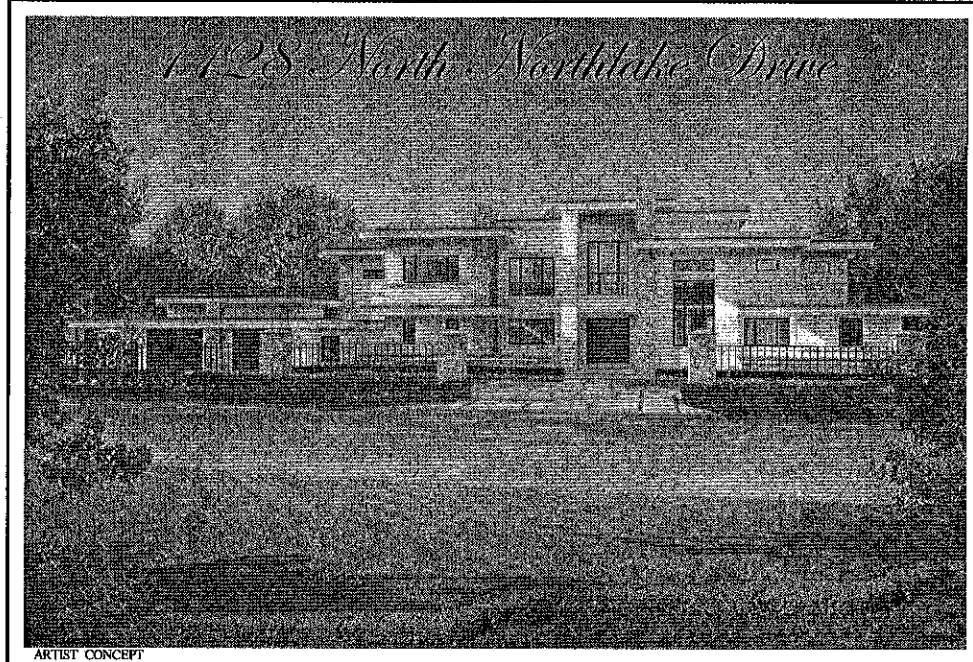
	EXISTING SETBACK	PROPOSED
FRONT-NORTH	24'-11"	24'-11"
SIDE-EAST	5'-4"	5'-4"
SIDE-WEST	11'-8"	11'-8"
REAR-SOUTH	11'-5"	65'-11"
BUILDING HEIGHT FROM FF.	18'-3"	21'-0"
BUILDING HEIGHT FROM GRADE		21'-1" TO 6"

OCCUPANCY PER SEC 3101: R-3

**GRADE = FEMA = + 6'-0" NGVD.**

Date of Issue  
 JUL 12 - 10  
**COVER**  
**A-0**

# Sullivan Residence



ARTIST CONCEPT

**OWNER**  
**DR. PETER SULLIVAN**

1128 NORTH NORTHLAKE DRIVE, HOLLYWOOD, FLORIDA 33020

**ARCHITECT**

**IN - SITE DESIGN GROUP, INC.**

1609 RODMAN STREET, HOLLYWOOD, FLORIDA 33020 (954) 921-5333 AA26001758

**STRUCTURAL ENGINEER**

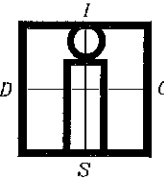
**SPECIALTY ENGINEERING CONSULTANTS, INC.**

1399 SW 30 AVENUE SUITE 20 BOYNTON BEACH FLORIDA 33426 GARY MC DOUGLE, P.E. 561-941-9110

**PLUMBING & ELECTRICAL ENGINEER**

**E&E CONSULTING ENGINEERS, LLC**

400 EAST OAKLAND PARK BLVD SUITE 108, FORT LAUDERDALE, FL 33304 954-566-7708



**IN-SITE DESIGN GROUP INC**

1609 RODMAN STREET  
HOLLYWOOD, FLORIDA 33020  
AA26001758  
954 921 5333  
FAX 954 921 6789  
PROJECT COORDINATOR:  
ANNE CARRUTHERS  
CGC 1511059  
ARCHITECT  
SAMUEL R. UCCELLO

SEAL

STATE OF FLORIDA LICENSE NO. AR-0018927

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CONSENT OF THE COMPANY. THE CONTRACTOR  
SHALL VERIFY ALL DIMENSIONS OF THE JOB AND  
BE RESPONSIBLE FOR ANY REVISIONS AND  
DISCREPANCIES TO THE ARCHITECT BEFORE  
CONSTRUCTION OF WORK. DRAWINGS ARE NOT  
TO BE SCALED.

PROJECT:  
SULLIVAN RESIDENCE

ADDRESS:  
1128 N. NORTHLAKE DR.  
HOLLYWOOD, FL 33019

DISTRIBUTION

APRIL - 16 - 2010  
HISTORIC BOARD  
SUBMITTAL  
PETITION NO: 10-C-17

REVISIONS

Date Of Issue  
APRIL - 15 - 10

COVER

A-0

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PROJECT DATA			
<b>PROJECT: RESIDENTIAL ADDITION AND RENOVATION</b>			
<b>SITE DATA</b>			
OWNER	DR. PETER SULLIVAN		
ADDRESS	1128 NORTH NORTHLAKE DRIVE, HOLLYWOOD, FL 33020		
TAX FOLIO NUMBER	5142-14-01-1040		
CONSTRUCTION	TYPE VI - NEW RESIDENCE ADDITION		
HEIGHT (TO TOP OF ROOF)	24'-4"		
OCCUPANCY TYPE	R-3		
NET LOT AREA (TO NET FACE OF SEA WALL)	1305' X 279.13' = 25,869 SQ FT		
CONSTRUCTION	NEW ADDITION AND INTERIOR RENOVATION		
PROJECT DESCRIPTION	1267 SF ADDITION TO EXISTING RESIDENCE AND RENOVATION TO THE INTERIOR, NEW ROOF AND EXTERIOR WINDOWS AND DOORS		
EXISTING RESIDENCE A/C	4,709 SQ FT.		
TOTAL SPACE TO BE ADDED	1268 A/C - 160 SF TO BE REMOVED + 934 SF COVERED + 1262 SF		
TOTAL SPACE TO BE REMOVED	160 SF AIR CONDITIONED		
NEW TOTAL AIR CONDITIONED SPACE EXISTING AND NEW	5,791 SQUARE FEET		
PERCENTAGE NEW TO EXISTING	1268 SF NEW A/C - 160 SF A/C REMOVED + 378 SF - 378/4,709 EXISTING A/C = 6.36%		
ESTIMATED CONSTRUCTION COST	SEE APPLICATION		
<b>ZONING</b>			
ZONING DISTRICT	R RESIDENTIAL		
FEMA FLOOD ZONE:	ZONE X AND ZONE AO		
PROPOSED FINISHED FLOOR OF ROAD	+0'-1" NGVD, OR 18" ABOVE CROWN OF ROAD		
HIGHEST ADJACENT GRADE	41'-4"		
CONTROL PANEL NO.	125105-0211-F		
CROWN OF ROAD	+155'		
LAND USE	LOW - MEDIUM		
<b>AREA (BUILDING) TABULATIONS</b>			
	EXISTING	PROPOSED SF ADDED	TOTAL PROPOSED
FIRST FLOOR A/C SPACE	3,676 SF	1,042 SF	3,826 SF
SECOND FLOOR A/C SPACE	1,023 SF	880 SF	1,903 SF
TOTAL A/C SPACE	4,709 SF	1,028 SF	5,791 SF
GARAGE	590 SF	307 SF	897 SF
COVERED TERRACES	106 SF	552 SF	1,158 SF
TOTAL	6,428 SF	2,027 SF	8,235 SF
<b>LEGAL DESCRIPTION</b>			
HOLLYWOOD LAKES SECT 1-32 B LOT 1 E 50'5.0, 2.3 W 30' BLK 47 TOG WITH LAND LYING S. OF LOTS 4 N OF LAKE LESS N 30' FOR 51' ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK AT PAGE OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA			
<b>ANY APPLICABLE RESOLUTION</b>			
NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE OTHER ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. APPLICANTS WILL COMPLY WITH ANY APPLICABLE CITY ORDINANCE INCLUDING PERMIT APPLICATION REVIEW AND APPROVAL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.			
<b>APPLICABLE CODES</b>			
ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE FOLLOWING CODES: THE FLORIDA BUILDING CODE 2001 NFPA 90A LIFE SAFETY CODE			
<b>SITE PLAN NOTES:</b>			
1. REFER TO THE RECORDED PLAT FOR SITE DEPARTMENT, BOUNDARIES, ELEVATIONS AND LOCATION OF EXISTING STRUCTURES			
2. FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK IF ANY DISCREPANCY ARISES PLEASE NOTIFY THE ARCHITECT IMMEDIATELY AND PRIOR TO COMMENCEMENT OR CONTINUATION WITH THE WORK IN QUESTION.			
3. GENERAL CONTRACTOR TO VISIT SITE PRIOR TO BIDDING AND VERIFY ALL EXISTING CONDITIONS			
4. GENERAL CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES, SEWER, WATER AND ELECTRICAL CONNECTIONS BEFORE BIDDING			
5. GRADE = FEMA = + 0'-1" NGVD.			
<b>SETBACKS</b>			
	EXISTING SETBACK	PROPOSED	
FRONT-NORTH	24'-1"	24'-1"	
SIDE-EAST	5'-4"	5'-4"	
SIDE-WEST	11'-11"	11'-11"	
REAR-SOUTH	25'-0"	45'-1"	
HEIGHT	35'-0"	35'-0"	
ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2001 FLORIDA BUILDING CODE AND 2003 AMENDMENTS (TYP)			

UNDER NO CIRCUMSTANCES SHALL ANY PART OF THE MAIN STRUCTURE BE CONSTRUCTED WITHIN THE SETBACKS. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR POTENTIAL ENCROACHMENTS. IN-SITE DESIGN GROUP AND/OR ARCHITECT SHALL MAKE NO REPRESENTATIONS OR GUARANTEES AS TO INFORMATION REFLECTED HEREON PERTAINING TO THE LOCATION OF STRUCTURES, DIMENSIONS OF PROPERTY, SETBACK LINES, RIGHT OF WAYS AND EASEMENTS. SUCH INFORMATION INCLUDING SETBACKS SHALL BE VERIFIED BY THE SURVEYOR AND THE CONTRACTOR.

SITE TO BE FILLED IN ACCORDANCE WITH THE HAWK COUNTY FLOOD CRITERIA ELEVATION OR AN ELEVATION NOT LESS THAN 18" ABOVE THE CROWN OF THE ROAD ELEVATION FRONTING THE PROPERTY. LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTY.

CONTRACTOR TO PROVIDE COUNTY WATER CERTIFICATION REPORT BEFORE INSPECTION AS PER F.B.C. 18B.2108 AND 1820

A SPOT SURVEY IS REQUIRED SHOWING LOCATION AND ELEVATION OF SLAB

SOIL TREATMENT FOR PROTECTION AGAINST TERMITES SHALL BE SUBMITTED TO BUILDING DEPT. FROM A NATIONAL PEST CONTROL ASSOC. BEFORE CONCRETE CAN BE POURED SEC. F.B.C. 18B.1 TERMITES PEST CONTROL TO COMPLY WITH F.B.C. 18B.10

**SOIL STATEMENT**

(BY VISUAL INSPECTION) SAND AND LOBE ROCK WITH A BEARING CAPACITY OF 2500 PSF. IF ANOTHER CONDITION EXISTS ALL WORK SHALL STOP AND ARCHITECT SHALL BE NOTIFIED BEFORE WORK CONTINUES.

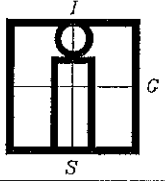
**LANDSCAPE NOTES:**

30% OF TREES TO BE OF NATIVE SPECIES 40% OF SHRUBS TO BE OF NATIVE SPECIES. ALL MECH. EQUIPMENT TO BE HIDDEN BY SHRUBS

PROVIDE A MINIMUM OF ONE TREE OR PALM PER 1000 SQUARE FEET OF PERVIOUS AREA ON LOT. TREES TO BE CLASS 1" OR BETTER IN GOOD CONDITION AND A MINIMUM OF 18" TALL WHEN INSTALLED. INSTALLED PALMS AND TREES SHALL HAVE A MINIMUM OF 5' FEET CLEAR TRUNK AT PLANTING. ANY OTHER TREE REMOVAL REQUIRES SEPARATE PERMIT. TREE LOCATION TO BE APPROVED IN FIELD PRIOR TO INSTALLATION.

ALL LANDSCAPED AREAS TO BE COVERED WITH 500 OR GROUND COVER. PLANTED AREAS TO BE MULCHED BY ORGANIC MULCH. DECORATIVE STONE, ROCK OR GRAVEL MAY BE USED UP TO 40 PERCENT TOTAL OF LANDSCAPE AREA AS A DECORATIVE ADJUNCT TO PLANTING BED.

PLEASE SEE SURVEY FOR LOCATION AND SPECIES OF EXISTING TREES. ANY TREES/PALMS TO BE REMOVED SHALL BE REPLACED WITH EQUIVALENT TREES AND TO BE ABOVE MINIMUM SITE CODE.



### IN-SITE DESIGN GROUP INC

1609 RODMAN STREET  
HOLLYWOOD, FLORIDA 33020  
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954 921 5333  
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PROJECT COORDINATOR:  
ANNIE CARRUTHERS  
CGC 1511058  
ARCHITECT  
SAMUEL R. UCCELLO

SEAL  
STATE OF FLORIDA LICENSE NO. AS-0115997

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VERIFY ALL DIMENSIONS OF THE JOB AND  
BE RESPONSIBLE FOR ANY VARIATIONS OR  
DISCREPANCIES TO THE ARCHITECT'S  
CONSTRUCTION OF WORK, DRAWINGS AND NOT  
TO BE SCALED.

PROJECT:  
SULLIVAN RESIDENCE

ADDRESS:  
1128 N. NORTHLAKE DR.  
HOLLYWOOD, FL 33019

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HISTORIC BOARD  
SUBMITTAL  
PETITION NO: 10-C-17  
VARIANCE SUBMITTAL

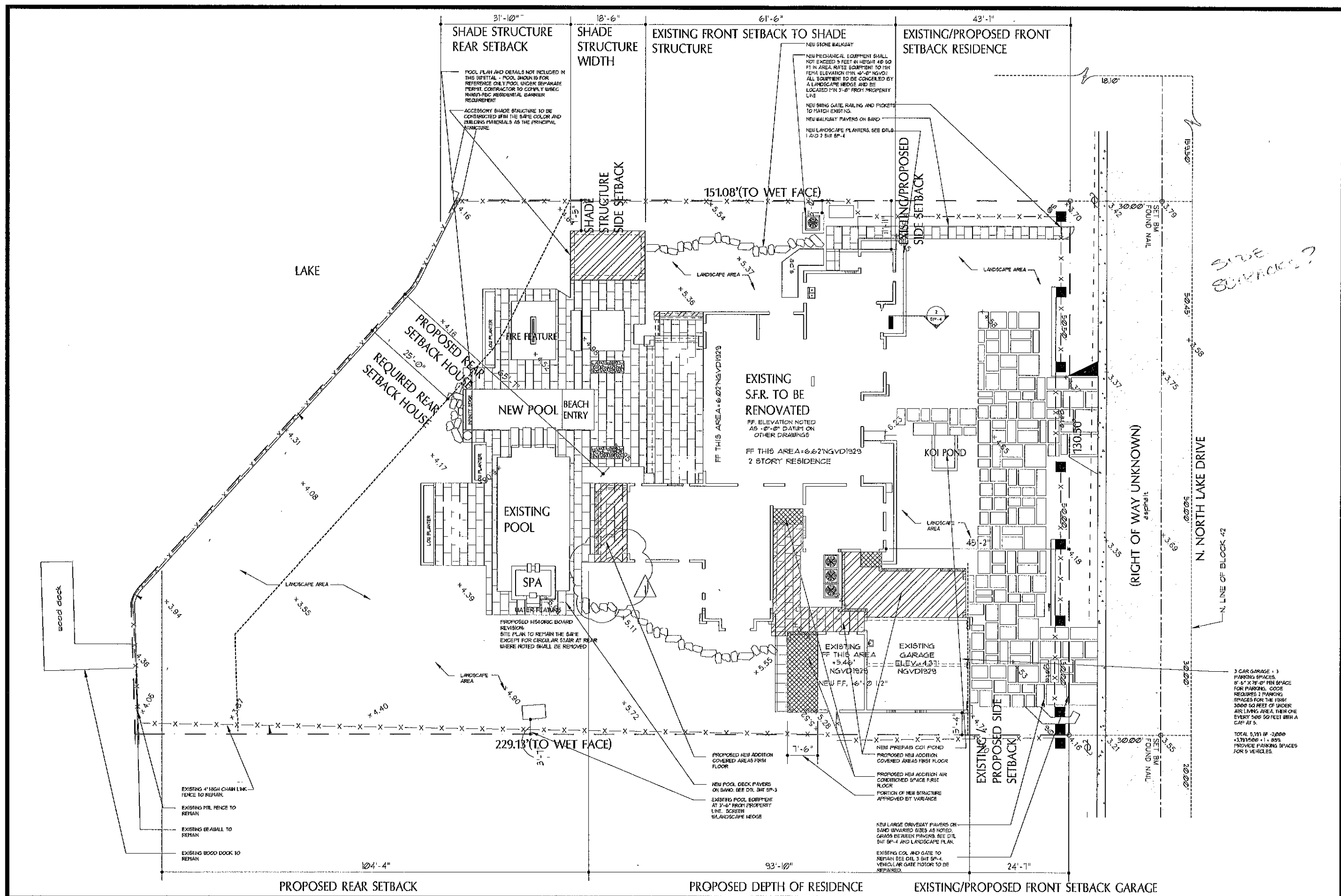
JULY-12-2010  
PERMIT SUBMITTAL  
B10-102987

JUNE-8-2011  
HISTORIC BOARD  
RE SUBMITTAL

REVISIONS  
1 HISTORIC BOARD  
RESUBMITTAL  
JUNE-8-2011

Date Of Issue  
JULY 12 2010

## NEW SITE PLAN SP-2



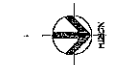
SIDE  
SETBACKS?

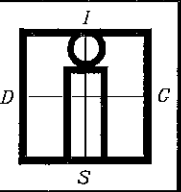
(RIGHT OF WAY UNKNOWN)  
#permit

N. NORTH LAKE DRIVE  
#permit

3 CAR GARAGE 1 3  
PARKING SPACES.  
8' 6" X 19' 0" PER SPACE  
FOR PARKING. CODE  
REQUIRES 1 PARKING  
SPACE FOR THE FIRST  
2000 SQ FEET OF UNDER  
AIR LIVING AREA, THEN ONE  
EVERY 500 SQ FEET WITH A  
CAP AT 5.  
TOTAL 5,191 SF -2,000  
+3,191 SQ FT = 1,191  
PROVIDE PARKING SPACES  
FOR 5 VEHICLES.

### 1 NEW SITE PLAN SCALE: 1" = 10' - 0"





**IN-SITE DESIGN GROUP INC**

1699 RODMAN STREET  
HOLLYWOOD, FLORIDA 33020  
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PROJECT COORDINATOR:  
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ARCHITECT  
SAMUEL R. UCCIELLO

SEAL

STATE OF FLORIDA LICENSE No. AR-0615997

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AND VERIFY ALL DIMENSIONS OF THE JOB AND  
BE RESPONSIBLE FOR ANY VARIATIONS AND  
DISCREPANCIES TO BE CORRECTED BEFORE  
CONSTRUCTION OF WORK. DIMENSIONS ARE NOT  
TO SCALE.

PROJECT:  
SULLIVAN RESIDENCE

ADDRESS:  
1128 N. NORTHLAKE DR.  
HOLLYWOOD, FL 33019

DISTRIBUTION  
APRIL-16-2010  
HISTORIC BOARD  
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PETITION NO. 10-C-17

REVISIONS

Date Of Issue  
APRIL-15-10

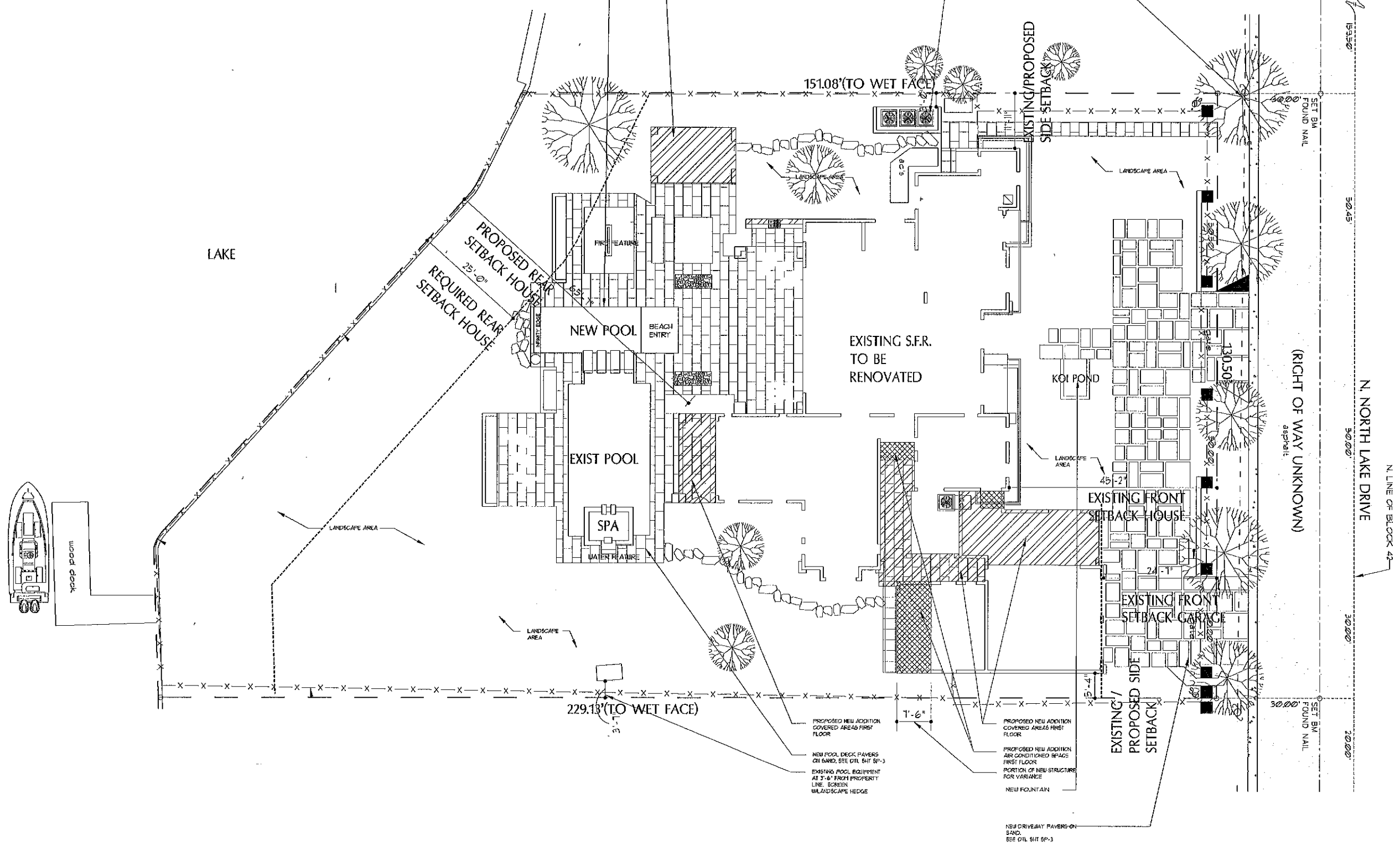
SITE PLAN  
**SP-2**

POOL PLAN AND DETAILS NOT INCLUDED IN THIS SUBMITTAL - POOL  
SHOWN IS FOR REFERENCE ONLY POOL UNDER SEPARATE PERMIT.  
CONTRACTOR TO COMPLY W/SEC 906.7-FEC RESIDENTIAL BARRIER  
REQUIREMENT

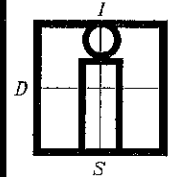
ACCESSORY SHADE STRUCTURE TO BE  
CONSTRUCTED WITH THE SAME COLOR AND  
BUILDING MATERIALS AS THE PRINCIPAL  
STRUCTURE.

NEW MECHANICAL EQUIPMENT SHALL NOT  
EXCEED 5 FEET IN HEIGHT AND 50 FT IN  
AREA RAISE EQUIPMENT TO FIN FEMA  
ELEVATION (MIN. 4'-0" MIN). ALL  
EQUIPMENT TO BE CONCEALED BY A  
LANDSCAPE HEDGE AND BE LOCATED MIN  
3'-0" FROM PROPERTY LINE

LANDSCAPING SKETCH ON THIS SHEET IS FOR  
PRESENTATION ONLY. SEE LANDSCAPE  
PLAN FOR EXISTING AND NEW LANDSCAPE







**IN-SITE  
DESIGN  
GROUP INC**

1609 RODMAN STREET  
HOLLYWOOD, FLORIDA 33020  
AA26001768  
954 921 5333  
FAX 954 921 6789  
PROJECT COORDINATOR:  
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CGC 1511058  
ARCHITECT  
SAMUEL R. UCCELLO

SEAL

STATE OF FLORIDA LICENSE No. AR-9015097

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AND VERIFY ALL CONDITIONS OF THE JOB AND  
BE RESPONSIBLE FOR ANY REPORTING ANY  
CONTRADICTIONS TO THE ARCHITECT DESIGN  
CONTRACTOR OF WORK. DRAWINGS ARE NOT  
TO BE SCALE.

PROJECT:  
SULLIVAN RESIDENCE

ADDRESS:  
1128 N. NORTHLAKE DR.  
HOLLYWOOD, FL 33018

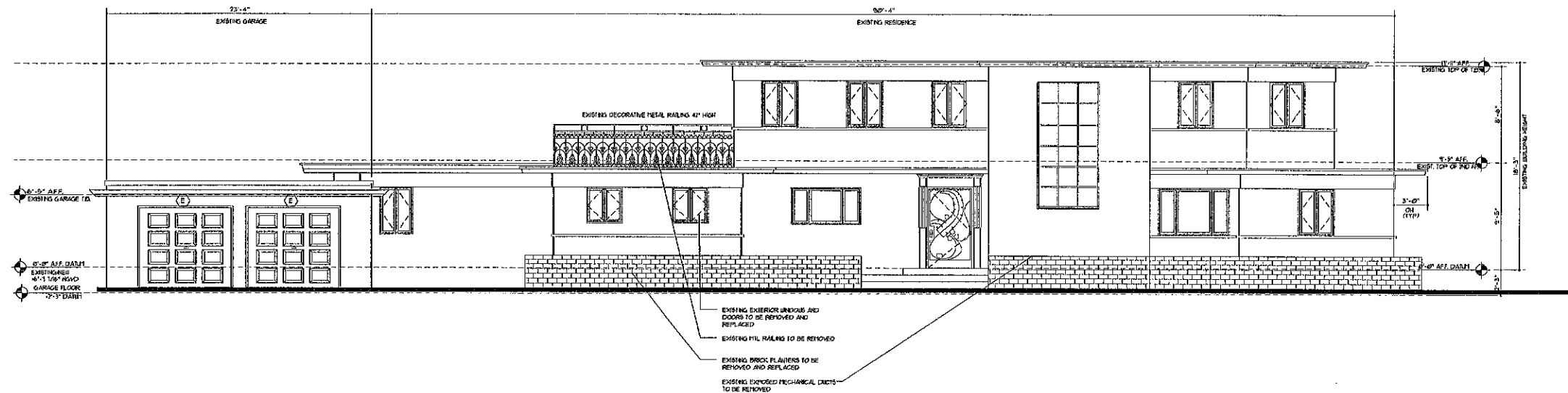
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Date of Issue  
APRIL - 15 - 10

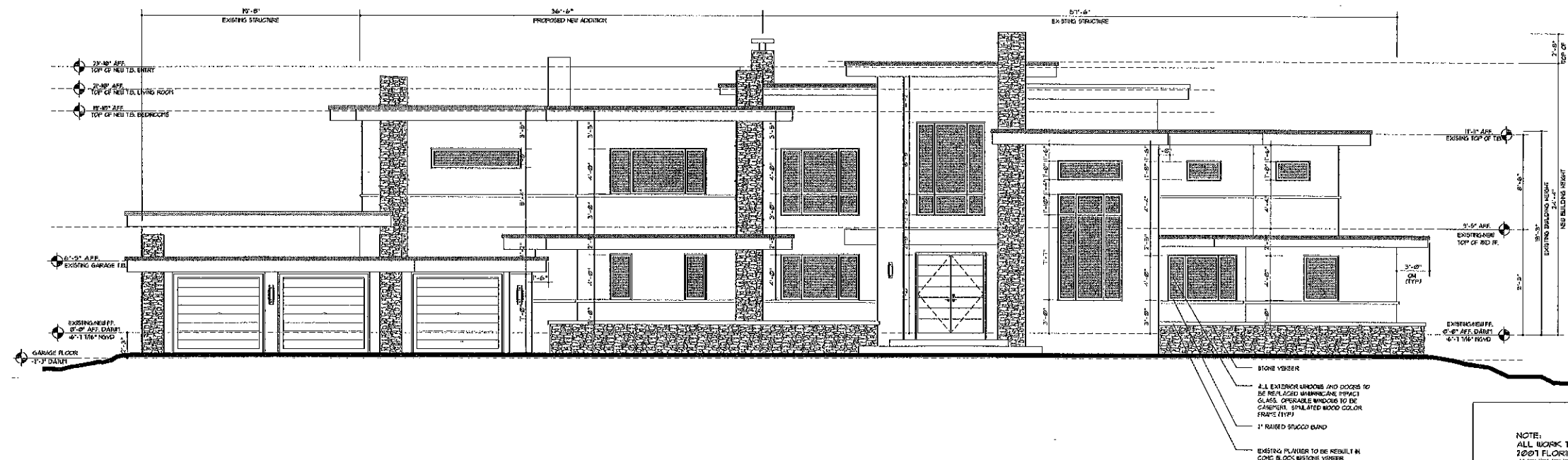
ELEVATIONS

**A-1**



EXISTING EXTERIOR WINDOWS AND  
DOORS TO BE REMOVED AND  
REPLACED  
EXISTING METAL RAILING TO BE REMOVED  
EXISTING BRICK FLAHERS TO BE  
REMOVED AND REPLACED  
EXISTING EXPOSED MECHANICAL DUCTS  
TO BE REMOVED

**1** EXISTING FRONT ELEVATION (NORTH)  
SCALE = 3/16" = 1'-0"



STONE VENEER  
ALL EXTERIOR WINDOWS AND DOORS TO  
BE REPLACED WITH ENERGY EFFICIENT  
GLASS. OPERABLE WINDOWS TO BE  
CASPERS. SIMILATED WOOD COLOR  
FRAMES (TYP)  
1" RAISED STUCCO BAND  
EXISTING FLAHER TO BE REBUILT IN  
CONC. BLOCK WITH STONE VENEER

NOTE:  
ALL WORK TO BE DONE IN ACCORDANCE WITH THE  
2001 FLORIDA BUILDING CODE AND 2009  
AMENDMENTS (TYP)  
GREEN TECHNOLOGIES WILL BE UTILIZED  
WHEREVER POSSIBLE INCLUDING BUT NOT LIMITED  
TO: ENERGY STAR APPLIANCES, TANKLESS  
HEATERS, UPGRADED WINDOWS, MECHANICAL  
SYSTEMS AND INSULATION, LOW FLOW WATER  
EFFICIENT FIXTURES, ENERGY EFFICIENT LIGHTING,  
LOW VOC PAINTS.

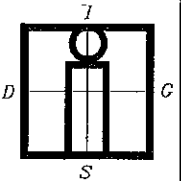
**2** NEW FRONT ELEVATION (NORTH)  
SCALE = 3/16" = 1'-0"

**3** NOTES









**IN-SITE  
DESIGN  
GROUP INC**

1808 RODMAN STREET  
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PROJECT COORDINATOR:  
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SEAL  
STATE OF FLORIDA LICENSE No. AR-0019997

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SULLIVAN RESIDENCE

ADDRESS:  
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HOLLYWOOD, FL 33019

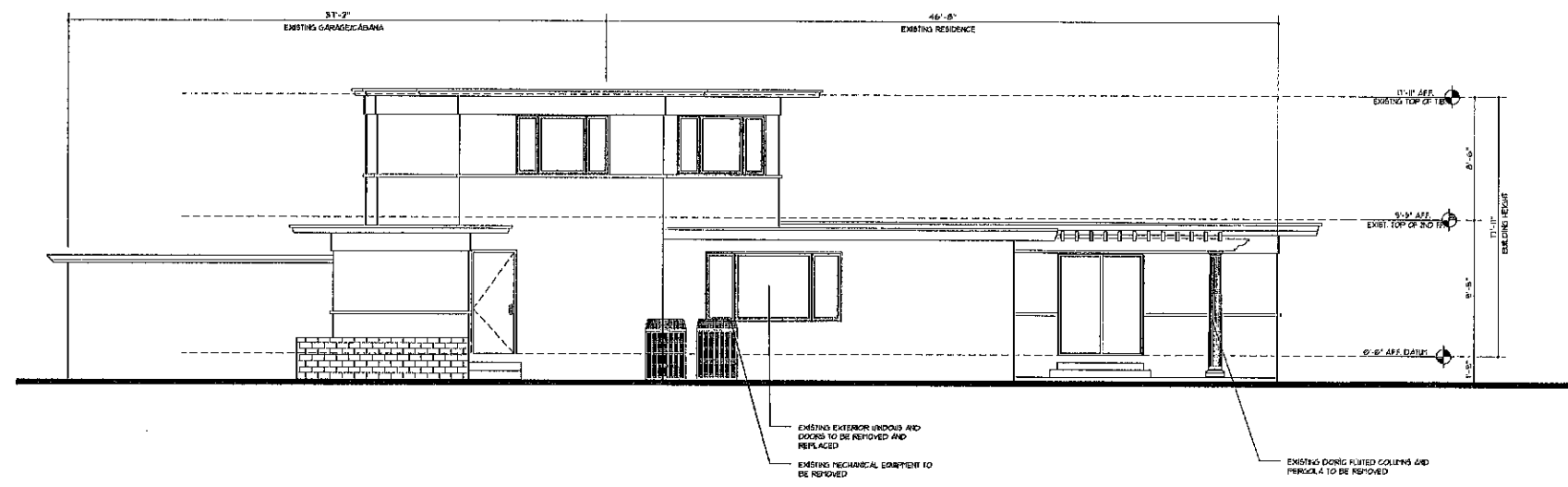
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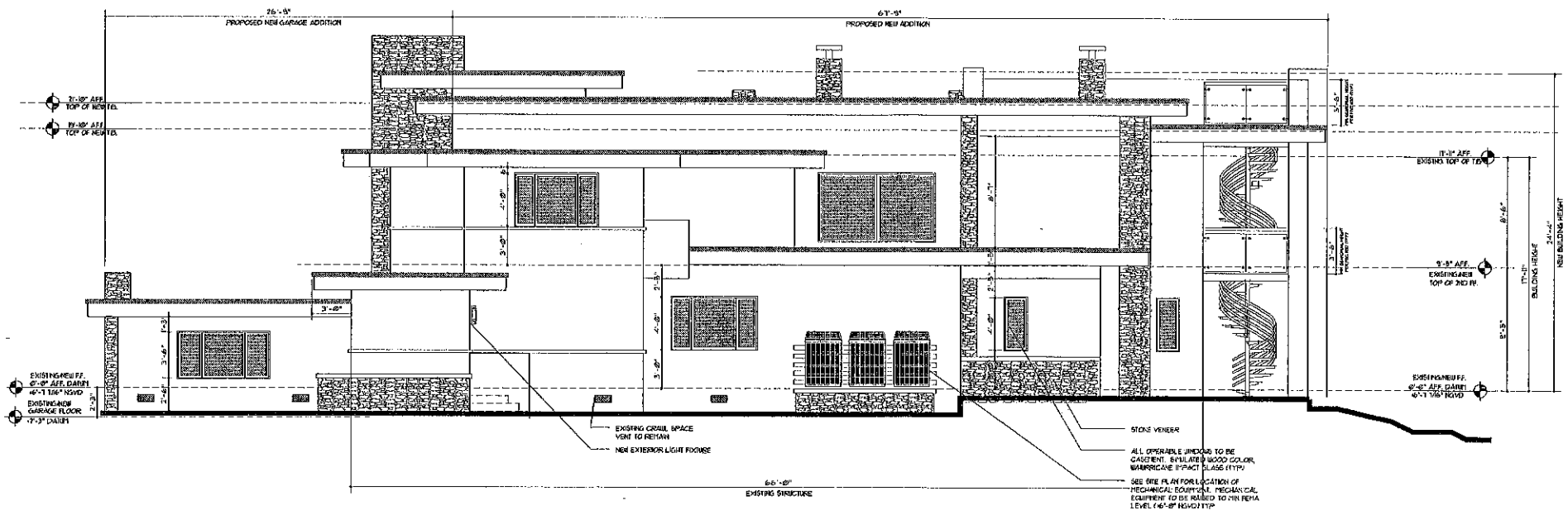
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ELEVATIONS

**A-3**



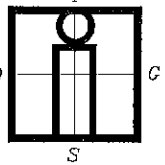
**1** EXISTING SIDE ELEVATION (WEST)  
SCALE = 3/16" = 1'-0"



**2** NEW SIDE ELEVATION (WEST)  
SCALE = 3/16" = 1'-0"

NOTE:  
ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2007 FLORIDA BUILDING CODE AND 2008 AMENDMENTS (TYP)  
  
GREEN TECHNOLOGIES WILL BE UTILIZED WHEREVER POSSIBLE INCLUDING BUT NOT LIMITED TO: ENERGY STAR APPLIANCES, TANKLESS HEATERS, UPGRADED WINDOWS, MECHANICAL SYSTEMS AND INSULATION, LOW FLOW WATER EFFICIENT FIXTURES, ENERGY EFFICIENT LIGHTING, LOW VOC PAINTS.

**3** NOTES



**IN-SITE  
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SULLIVAN RESIDENCE

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HOLLYWOOD, FL 33019

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VARIANCE SUBMITTAL

JULY-12-2010  
PERMIT SUBMITTAL  
B10-102887

JUNE-8-2011  
HISTORIC BOARD  
RE SUBMITTAL

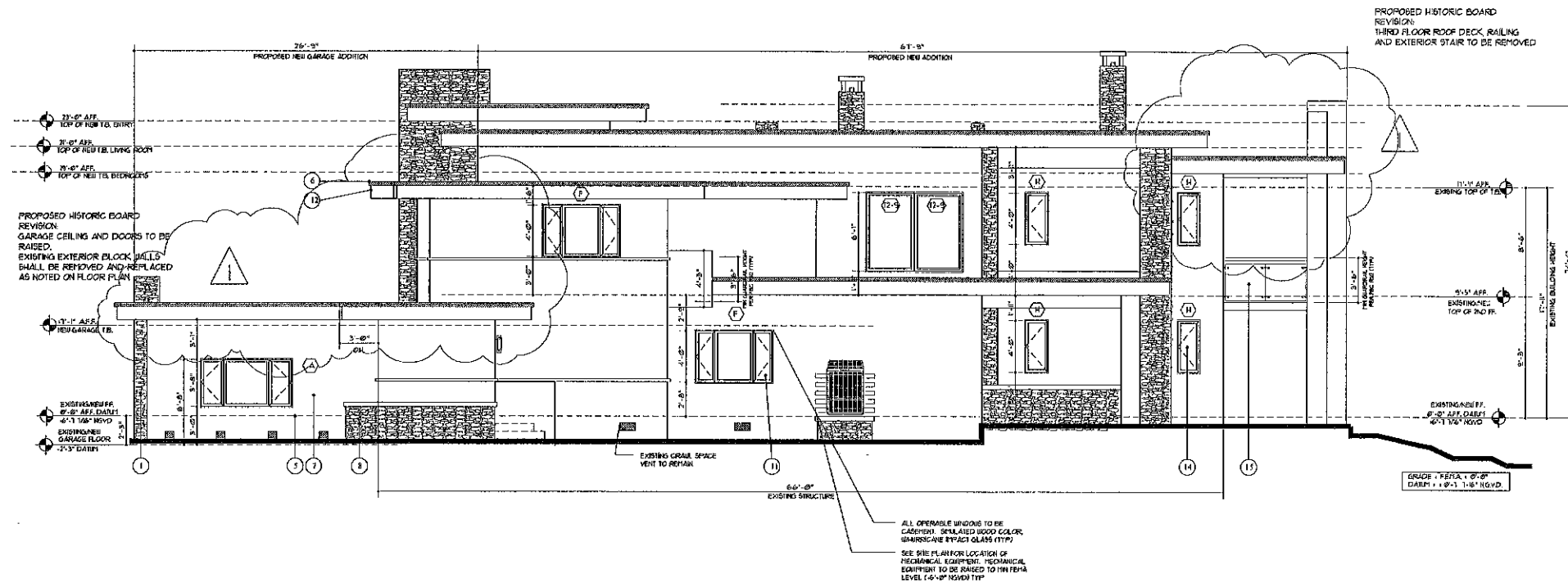
REVISIONS

HISTORIC BOARD  
RE SUBMITTAL  
JUNE-8-2011

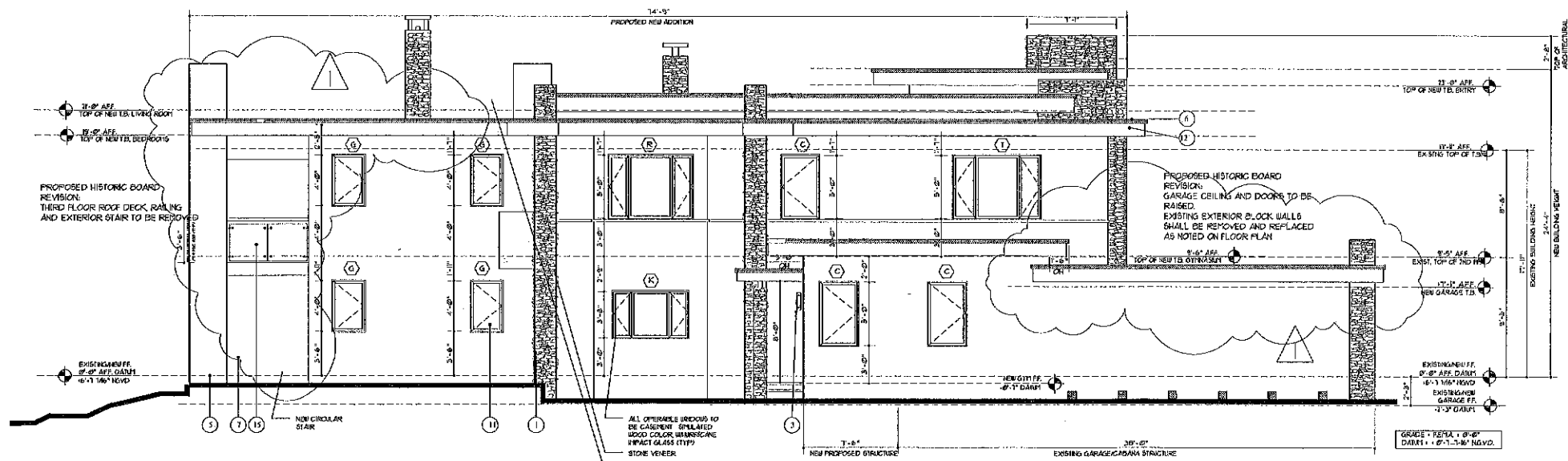
Date of Issue  
JULY 12-10

NEW  
ELEVATIONS

A-4



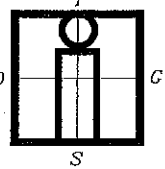
1 NEW SIDE ELEVATION (WEST)  
SCALE = 3/16" = 1'-0"



2 NEW SIDE ELEVATION (EAST)  
SCALE = 3/16" = 1'-0"

3 ELEVATION KEY NOTES

- KEY NOTES:**
1. COLUMN VENEER: DORADO STACKED STONE VENEER IN ALDERWOOD COLOR. CONTRACTOR TO PROVIDE SAMPLE OF STONE AND MORTAR COLOR PRIOR TO FINAL APPROVAL BY ARCHITECT. STONE WILL BE PLACED WHERE NOTED ON ELEVATIONS.
  2. NEW STEPS: TOTAL HEIGHT NOT TO EXCEED 30", OTHERWISE PROVIDE HANDRAIL/GUARDRAIL TO COMPLY W/IFBC R315.6
  3. NEW EXTERIOR GRADE LIGHT FIXTURE. SEE ELECT DUGS FOR DTLS
  4. LINE OF TB: SEE STRUCT DWS
  5. LINE OF CONCRETE SLAB
  6. NEW FLAT ROOF: SEE DTLS SHT A-16
  7. BUILDING TO BE RESTICOCCO NEW TEXTURE. SHALL BE LIGHT. RESIDENCE TO BE PAINTED. PAINT COLOR TO BE SELECTED BY ARCHITECT. STUCCO SHALL BE 1" AND SHALL BE INSTALLED AS PER ASTM C376 EXCLUDING TABLE 4
  8. NEW CONC 3"-6" HIGH PLANTER W/STONE VENEER AND PRECAST CONC CAP. SEE SP-4 FOR DTLS
  9. STUCCO TRIM BAND TO MATCH AND ALIGN EXISTING
  10. NEW FIREPLACE AND MANTEL TO BE SELECTED BY OWNER. SEE CHIMNEY DTLS SHT A-18
  11. NEW EXTERIOR IMPACT WINDOWS/DOORS SEE SCHEDULE A-B FOR DTLS
  12. NEW OVERHANG STRAIGHT FASCIA SEE DTLS SHT A-16
  13. CONTRACTOR TO PROVIDE ALUMN GUTTERS AT OVERHANG AS REQUIRED FOR DRAINAGE
  14. ALIGN UPPER AND LOWER WINDOWS AND/OR DOORS W/ WINDOW DIVISIONS
  15. 42" HIGH TEMP GLASS GUARDRAIL (SUBMIT SHOP DRAWINGS OR SAMPLE FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION. PICKETS TO REJECT A 4" DIA OBJECT. GUARDRAIL TO COMPLY W/IFBC R31 AND R313
  16. RECESS IN BEAM AT TERRACES
  17. NEW DECORATIVE EYEBROW TO MATCH OVERHANG
  18. SITE ADDRESS SHALL BE PROVIDED IN ACCORDANCE W/IFBC R313
- NOTE:**  
- DIMENSIONS SHOWN ARE FROM TOP OF FF. SEE ELEVATIONS AND STRUCT DWS FOR TB HEIGHT AND DEPTH  
- SEE SHT A-11 FOR WINDOW AND DOOR SCHEDULE  
- SHEETS ARE BOUND BY THE REQUIREMENTS ON SHT SP-3
- NOTE:**  
ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2001 FLORIDA BUILDING CODE AND 2009 AMENDMENTS (TTP)
- GREEN TECHNOLOGIES WILL BE UTILIZED WHEREVER POSSIBLE INCLUDING BUT NOT LIMITED TO, ENERGY STAR APPLIANCES, TANKLESS HEATERS, UPGRATED WINDOWS, MECHANICAL SYSTEMS AND INSULATION, LOW FLOW WATER EFFICIENT FIXTURES, ENERGY EFFICIENT LIGHTING, AND LOW VOC PAINTS.



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TO BE SCALED.

PROJECT:  
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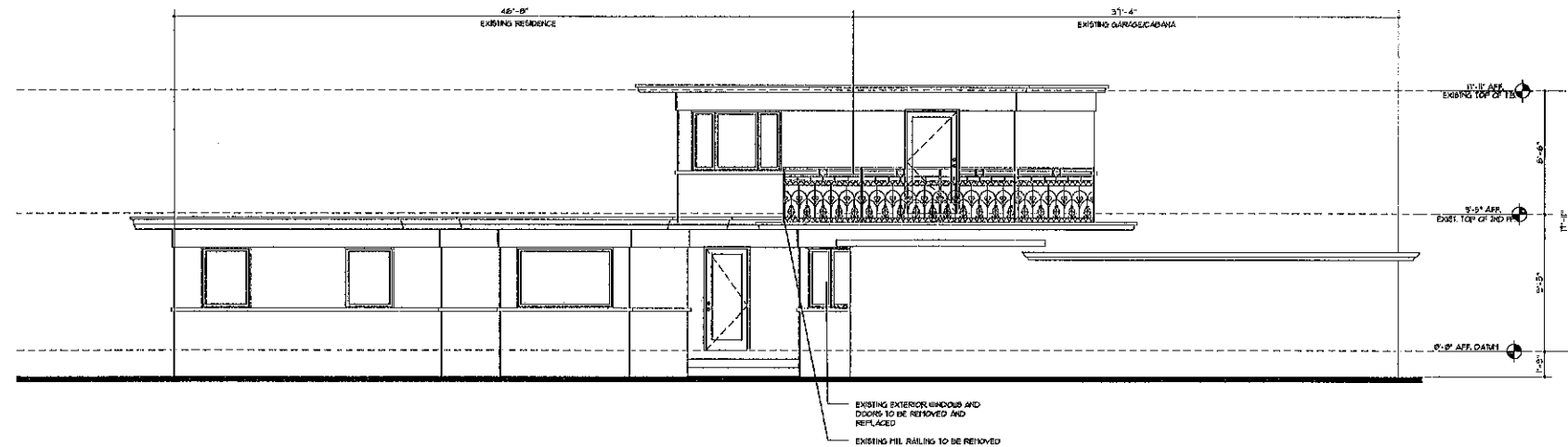
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SUBMITTAL  
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REVISIONS

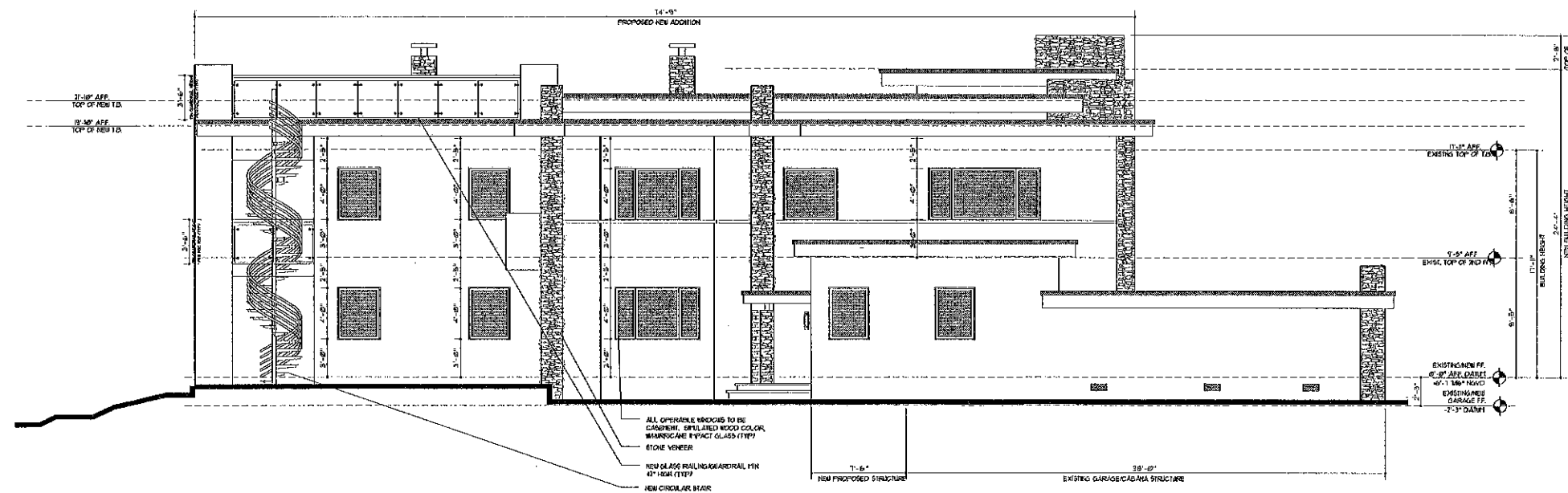
Date Of Issue  
APRIL -15-10

ELEVATIONS

A-4



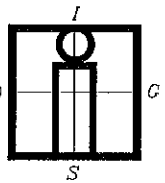
1 EXISTING SIDE ELEVATION (EAST)  
SCALE = 3/16" = 1'-0"



2 NEW SIDE ELEVATION (EAST)  
SCALE = 3/16" = 1'-0"

3 NOTES

NOTE:  
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VERIFY ALL DIMENSIONS OF THE JOB AND  
BE RESPONSIBLE FOR SIZE, MATERIALS AND  
CONSTRUCTION TO BE ADHERED BEFORE  
CONSTRUCTION OF WORK. DIMENSIONS ARE NOT  
TO BE SCALED.

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SULLIVAN RESIDENCE

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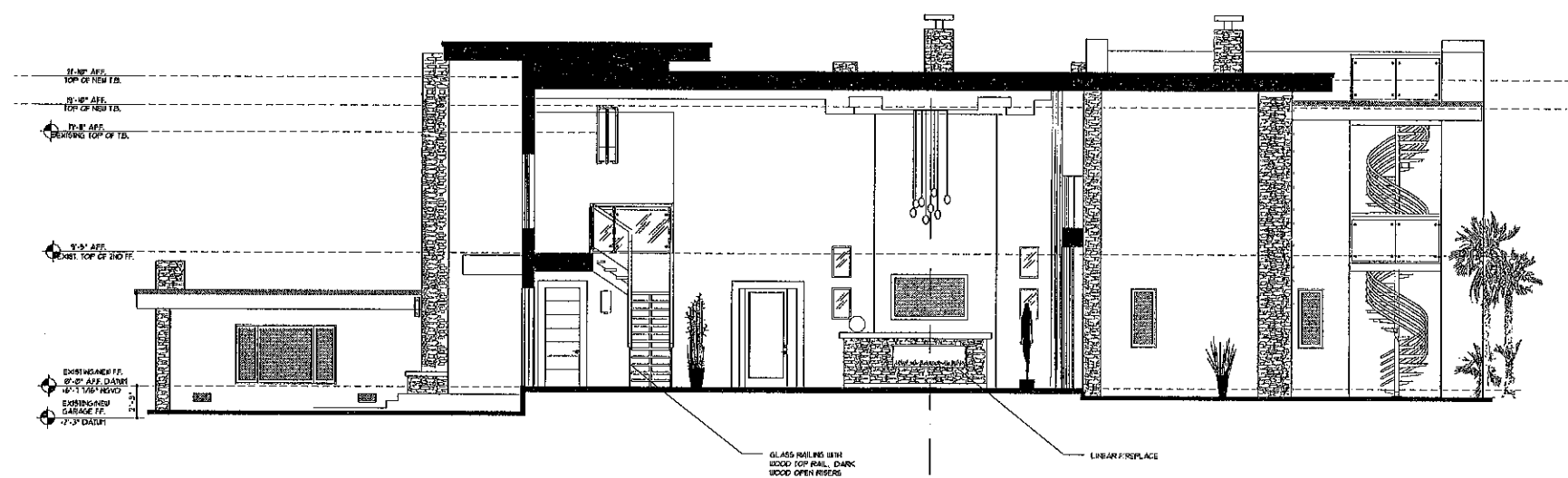
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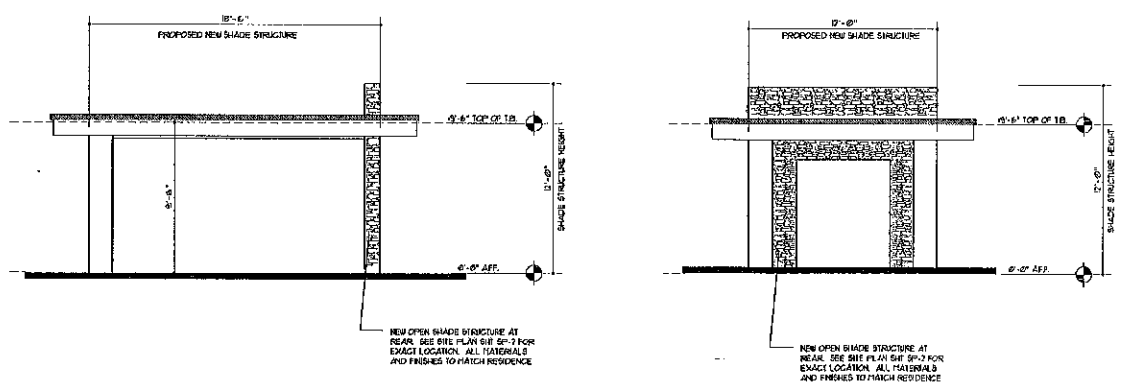
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APRIL -15-10

ELEVATIONS

**A-5**



**1** NEW LIVING ROOM ELEVATION  
SCALE = 3/16" = 1'-0"



**2** NEW SHADE STRUCTURE  
SCALE = 3/16" = 1'-0"

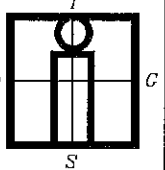
NOTE:  
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GREEN TECHNOLOGIES WILL BE UTILIZED  
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HEATERS, UPGRADED WINDOWS, MECHANICAL  
SYSTEMS AND INSULATION, LOW FLOW WATER  
EFFICIENT FIXTURES, ENERGY EFFICIENT LIGHTING,  
LOW VOC PAINTS.

**3** NOTES

## DEMOLITION NOTES

DEMOLITION FOR REMODELING

- PROTECTION**  
DO NOT INTERFERE WITH THE USE OF ADJACENT BUILDINGS. CEASE OPERATIONS AND NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT EXISTING STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- EXISTING SERVICES**  
ARRANGE AND PAY FOR DISCONNECTING, REMOVAL AND CAPPING UTILITY SERVICES WITHIN AREA OF DEMOLITION. DISCONNECT AND SHUT-OFF AS REQUIRED. IF CONNECTED TO AREA WHERE OWNER WILL CONTINUE USE DURING CONSTRUCTION, CONTRACTOR SHALL ADVISE OWNER OF INTERRUPTION IN UTILITIES DURING THE WORK. CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR USE AND SERVICE DISCONNECT AS REQUIRED.
- PREPARATION**  
REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES. CARRY OUT DEMOLITION WORK TO CAUSE AS LITTLE INCONVENIENCE TO OWNER AND TO ADJACENT OCCUPIED BUILDING AREAS AS POSSIBLE. ALL DEMOLISHED MATERIALS AND OTHER DEBRIS SHALL BE REMOVED FROM SITE.
- DEMOLITION**  
DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT, AT NO COST TO OWNER. SEAL OFF AREAS THAT ARE NOT UNDER CONSTRUCTION SO THAT DEBRIS DOES NOT ENTER INTERIOR. EXECUTION OF DEMOLITION AND ALTERATION WORK SHALL PROGRESS IN A MANNER AS TO INTERFERE AS LITTLE AS POSSIBLE WITH FUNCTIONS AND NORMAL OPERATIONS OF THE EXISTING BUILDING AND WITH SAFETY AND PRIVACY OF THOSE RESIDING AND/OR WORKING IN AND ABOUT PREMISES. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP BOTH OF CONSTRUCTION SITE AS WELL AS ANY AREAS WHICH BECOME AFFECTED BY CONSTRUCTION DEBRIS.
- EXISTING**  
PRIOR TO REMOVING EXISTING CONSTRUCTION, CONTRACTOR SHALL PROVIDE BRACINGS AND SUPPORT TO ANY STRUCTURAL MEMBERS BEING SUPPORTED BY THE REMOVED CONSTRUCTION. EXISTING MASONRY WALLS SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION SHOULD BEARING BLOCK, CONCRETE OR STRUCTURAL WALLS, BEAMS AND/OR COLUMNS BE DISCOVERED DURING DEMOLITION WHICH ARE NOT NOTED ON PLANS, CONTRACTOR SHALL STOP WORK AND NOTIFY ARCHITECT IMMEDIATELY.
- SUPERVISION**  
SUPERVISORS OF CONTRACTORS, THE GENERAL CONTRACTOR OR HIS QUALIFIED REPRESENTATIVE SHALL BE PRESENT WHEN SUBCONTRACTORS ARE ON THE JOB.
- PROTECTION OF LANDSCAPING**  
THE CONTRACTOR SHALL PROTECT FROM DAMAGE, WITHOUT LIMITING THE SCOPE THEREOF, EXISTING LANDSCAPING, GROUND COVERS, GRASS, SHRUBS, PLANTS AND TREES, UNLESS SUCH LANDSCAPING SHALL BE INDICATED AS TO BE REMOVED ON THE LANDSCAPE PLAN. ALL LANDSCAPING SHALL REMAIN UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN. NOTIFY OWNER IF LANDSCAPING SHALL BE EFFECTED IN ANY WAY.
- WORKMANSHIP**  
ALL WORK SHALL BE PERFORMED IN A MANNER CONSISTENT WITH THE BEST PRACTICES FOR THE RESPECTIVE TRADES AND QUALITY SPECIFIED. WORK NOT CONSISTENT WITH THE TRADES HIGHEST LEVEL OF WORKMANSHIP SHALL BE REJECTED. ANY WORK REJECTED SHALL BE DONE AT CONTRACTOR'S EXPENSE. CORRECTION OR RECTIFICATIVE WORK SHALL BE STARTED NOT LATER THAN 5 DAYS AFTER NOTICE IS GIVEN TO THE CONTRACTOR AND SHALL PROCEED WITHOUT DELAY UNTIL WORK IS COMPLETED.
- PROTECTION OF PERSONS AND PROPERTY**  
SAFETY PRECAUTIONS AND PROGRAMS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN ACCORDANCE WITH THE WORK.  
SAFETY OF PERSONS AND PROPERTY: THE CONTRACTOR SHALL TAKE ALL REASONABLE PROTECTION TO PREVENT DAMAGE INJURY OR LOSS TO ALL EMPLOYEES ON THE WORK AND ALL OTHER PERSONS WHO MAY BE AFFECTED.
- ASBESTOS AND LEAD BASED PAINT**  
ANY AND ALL ASBESTOS AND/OR LEAD PAINT DISCOVERED DURING DEMOLITION OR CONSTRUCTION MUST BE REPORTED TO ARCHITECT AND OWNER IMMEDIATELY.



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B-10-102887

JUNE - 9 - 2011  
HISTORIC BOARD  
RE SUBMITTAL

REVISIONS  
HISTORIC  
BOARD  
RE SUBMITTAL  
JUNE - 8 - 2011

Date Of Issue  
JULY 12 - 10

DEMO  
FLOOR PLAN

A-f

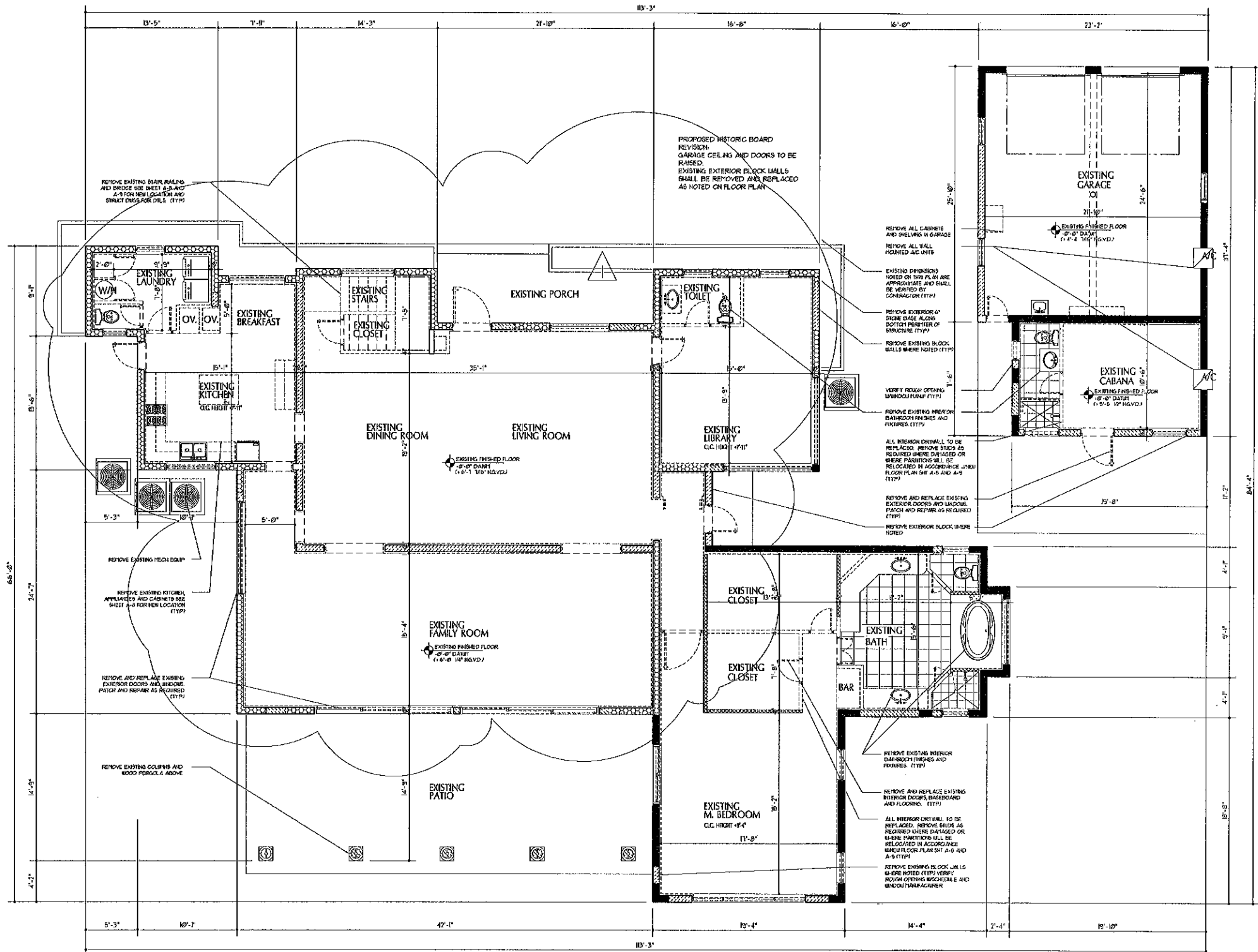
## 2 DEMOLITION NOTES

- EXISTING CBS WALLS TO REMAIN
  - NEW INTERIOR PARTITION SEE DTLS
  - PARTITION WALLS TO BE REMOVED
  - BLOCK WALLS TO BE REMOVED
  - NEW EXTERIOR BLOCK WALL SEE WALL SECTIONS AND STRUCT DWGS FOR DTLS
  - EXISTING INTERIOR PARTITION STUDS TO REMAIN NEW DRYWALL, PLASTER AND PAINT AS REQUIRED
  - EXISTING CBS WALLS TO BE REBUILT
- VERIFY LOCATION OF ALL EXISTING OPENINGS, STRUCTURAL WALLS AND COLUMNS AND PLUMBING LINES

## 3 LEGEND

- A. VERIFY LOCATION OF ALL EXISTING OPENINGS, STRUCTURAL WALLS, COLUMNS, AND PLUMBING.
- B. THIS SHEET IS BOUND BY THE REQUIREMENTS ON COVER SHEET, SHEET SP-1, AND GENERAL NOTES.
- C. SHOULD EXTERIOR BLOCK, CONCRETE, STRUCTURAL WALLS, COLUMNS, OR PLUMBING OR ELECTRICAL BE DISCOVERED DURING DEMOLITION WHICH ARE NOT NOTED ON THE PLANS, CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY ARCHITECT.

## 4 GENERAL NOTES

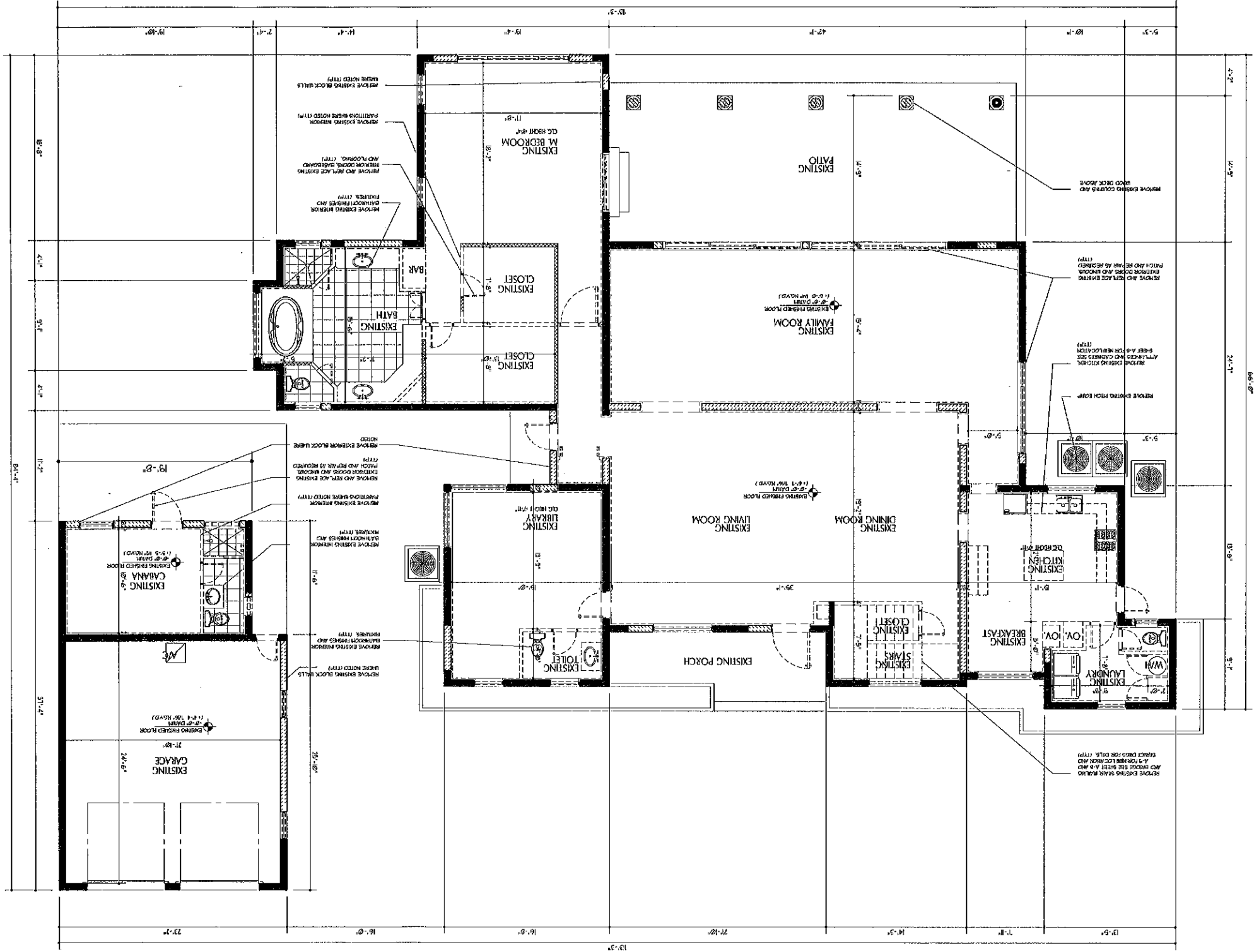


## 1 EXISTING/DEMOLITION FIRST FLOOR PLAN

SCALE = 3/16" = 1'-0"



## 4 GENERAL NOTES



DEMOLITION NOTES

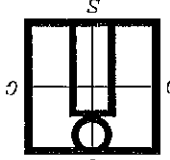
1. PROTECTION  
DO NOT INTERFERE WITH THE USE OF ADJACENT BUILDING. CEASE OPERATIONS AND NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROTECT SUPPORT EXISTING STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
2. EXISTING SERVICES  
ARRANGE AND PAY FOR DISCONNECTING, REMOVAL AND CAPPING OF ALL UTILITIES WITHIN AREA OF DEMOLITION. DISCONNECT AND SHUT-OFF AS REQUIRED. IF CONNECTED TO AREA WHERE OWNER WILL CONTINUE USE DURING CONSTRUCTION, CONTRACTOR SHALL ADVISE OWNER OF INTERFERENCE IN UTILITIES DURING THE WORK. CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR USE AND SERVICE DISCONNECT AS REQUIRED.
3. PREPARATION  
REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES. CARRY OUT DEMOLITION WORK TO CAUSE AS LITTLE INCONVENIENCE TO OWNER AND TO ADJACENT OCCUPIED BUILDING AS POSSIBLE. ALL DEMOLISHED MATERIALS AND OTHER DEBRIS SHALL BE REMOVED FROM SITE.
4. DEMOLITION  
REPAIR AND PATCH ALL DEMOLITION PERFORMED IN ACCORDANCE WITH NEW WORK. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT AT NO COST TO OWNER. SEAL OFF AREAS THAT ARE NOT UNDER CONSTRUCTION SO THAT DEBRIS DOES NOT ENTER INTERIOR. EXECUTION OF DEMOLITION AND ALTERATION WORK SHALL PROCEED IN A MANNER AS TO INTERFERE AS LITTLE AS POSSIBLE WITH FUNCTIONS AND NORMAL OPERATIONS OF THE EXISTING BUILDING AND WITH SAFETY AND PROTECT OF THOSE RESIDING AND/OR WORKING WITHIN BUILDING.
5. EXISTING  
REMOVE EXISTING CONSTRUCTION. CONTRACTOR SHALL REMOVE BRACKING AND SUPPORT TO ANY STRUCTURAL MEMBERS BEING SUPPORTED BY THE REMOVED CONSTRUCTION. EXISTING MASONRY WALLS SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION SHOULD BEARING BLOCK, CONCRETE OR STRUCTURAL WALLS, BEAMS AND/OR COLUMN BE DISCOVERED DURING DEMOLITION WHICH ARE NOT NOTED ON PLANS, CONTRACTOR SHALL STOP WORK AND NOTIFY ARCHITECT IMMEDIATELY.
6. SUPERVISION  
SUPERVISORS OF CONTRACTORS, THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS SHALL BE PRESENT WHEN DEMOLITION OPERATIONS ARE ON THE JOB.
7. PROTECTION OF LANDSCAPING  
THE CONTRACTOR SHALL PROTECT FROM DAMAGE, WITHOUT LIMITING THE SCOPE THEREOF, EXISTING LANDSCAPING, GROUND, GRASS, SHRUBS, PLANTS AND TREES. ALL LANDSCAPING SHALL REMAIN, NOTIFY OWNER IF LANDSCAPING SHALL BE EFFECTED IN ANY WAY.
8. WORKMANSHIP  
ALL WORK SHALL BE PERFORMED IN A MANNER CONSISTENT WITH THE BEST PRACTICES FOR THE RESPECTIVE TRADES AND QUALITY SPECIFIED. WORK NOT CONSISTENT WITH THE TRADES HIGHEST LEVEL OF WORKMANSHIP SHALL BE REJECTED. ANY WORK REJECTED SHALL BE DONE AT CONTRACTOR'S EXPENSE. CONNECTION OF DEFECTIVE WORK SHALL BE STARTED NOT LATER THAN 5 DAYS AFTER NOTICE IS GIVEN TO THE CONTRACTOR AND SHALL PROCEED WITHOUT DELAY UNTIL WORK IS COMPLETED.
9. PROTECTION OF PERSONS AND PROPERTY  
SAFETY PRECAUTIONS AND PROGRAMS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN ACCORDANCE WITH THE WORK.
10. SAFETY OF PERSONS AND PROPERTY  
THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTION TO PREVENT DAMAGE TO PERSONS WHO MAY BE AFFECTED.

2 DEMOLITION NOTES

1. EXISTING CBG WALLS TO REMAIN
2. NEW INTERIOR PARTITION SEE DTLs
3. PARTITION WALLS TO BE REMOVED
4. BLOCK WALLS TO BE REMOVED
5. NEW EXTERIOR BLOCK WALL SEE DTLs
6. EXISTING INTERIOR PARTITION TO REMAIN
7. REMAIN UNLESS OTHERWISE NOTED
8. WINDOWS AND DOORS LABELED "R" ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED
9. VERIFY LOCATION OF ALL EXISTING OPENINGS, STRUCTURAL WALLS AND COLUMN AND PLUMBING LINES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED
10. THIS SHEET IS BOUND BY THE REQUIREMENTS ON COVER SHEET, SHEET 99-1 AND GENERAL NOTES.
11. D. SHOULD EXTERIOR BLOCK CONCRETE STRUCTURAL WALLS, COLUMN, OR PLUMBING OR BE DISCOVERED DURING DEMOLITION WHICH ARE NOT NOTED ON THE PLANS, CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY ARCHITECT.

3 LEGEND

1. NOTES
2. LEGEND
3. DEMOLITION NOTES
4. NOTES



INSITE DESIGN GROUP INC

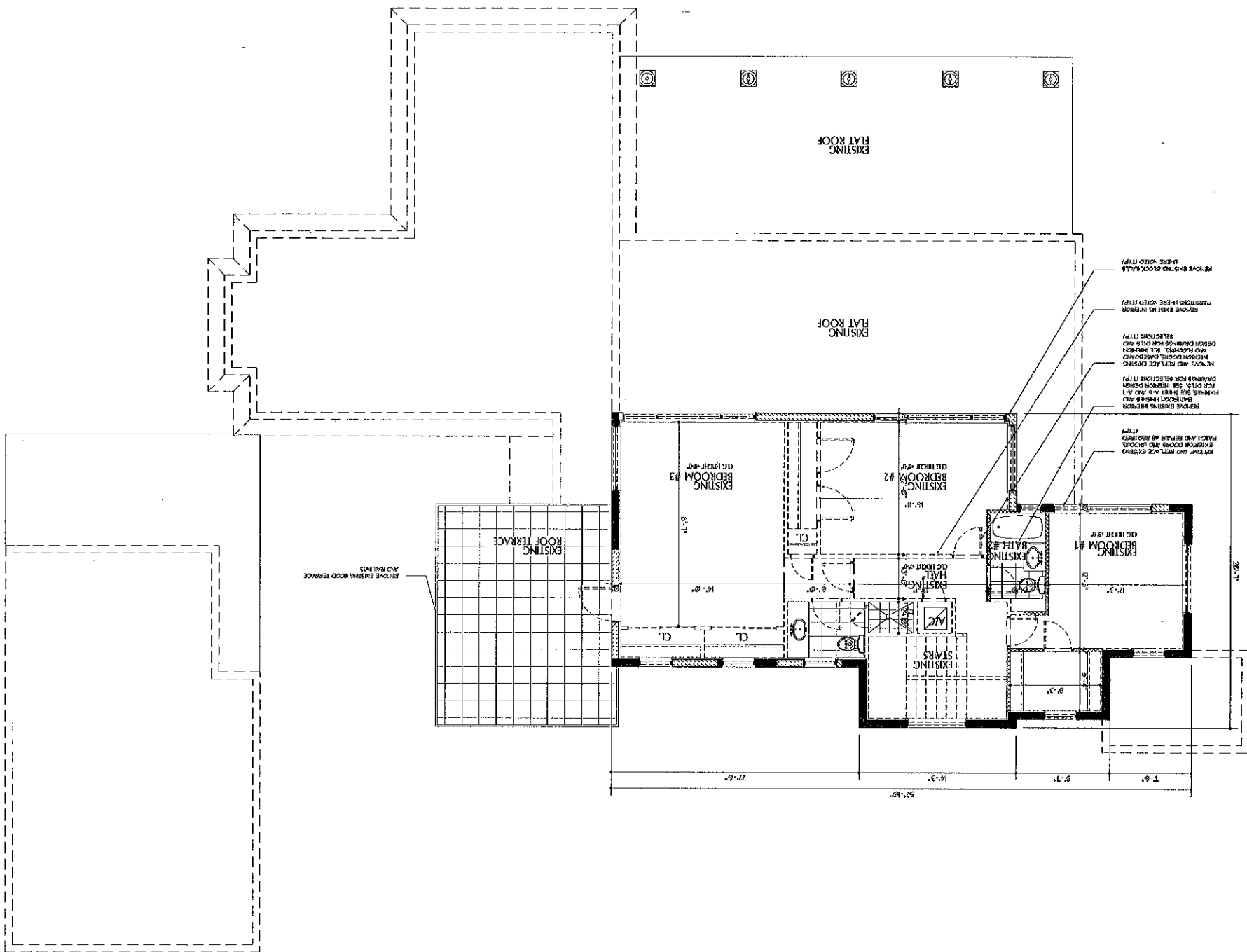
1609 ROOMAN STREET  
HOLLYWOOD, FLORIDA 33020  
AA26001758  
954 921 5233  
FAX 954 921 8769  
PROJECT COORDINATORS  
ANNE CARLITHERS  
COO 151 058  
ARCHITECT  
SAMUEL R. UGDELLO

PROJECT: SULLIVAN RESIDENCE  
ADDRESS: 1128 N. NORTLAKE DR  
HOLLYWOOD, FL 33019  
DISTRIBUTION: HISTORIC BOARD  
SUBMITTAL: PETITION NO. 10-C-17

REVISIONS

A-6 FLOOR PLANS  
DATE: APRIL 15-10





4	NOTES
3	LEGEND
2	DEMOLITION NOTES

**DEMOLITION NOTES**

- PROTECTION**  
DO NOT INTERFERE WITH THE USE OF ADJACENT BUILDINGS. CEASE OPERATIONS AND NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IF SAFETY OR STRUCTURE TO BE ENDANGERED. TAKE PRECAUTIONS TO PREVENTLY SAFETY STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- EXISTING SERVICES**  
ARRANGE AND PAY FOR DISCONNECTING, REMOVAL AND CAPPING UTILITY SERVICES WITHIN AREA OF DEMOLITION. DISCONNECT AND SHUT-OFF AS REQUIRED. IF CONNECTED TO AREA WHERE OWNER WILL CONTINUE USE STRUCTURE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR USE AND SERVICE DISCONNECT AS REQUIRED.
- PREPARATION**  
REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES. CAREY OUT DEMOLITION WORK TO CAUSE AS LITTLE INCONVENIENCE TO OWNER AND TO ADJACENT OCCUPIED BUILDING AREAS AS POSSIBLE. ALL DEMOLISHED MATERIALS AND OTHER DEBRIS SHALL BE REMOVED FROM SITE.
- DEMOLITION**  
DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT AT OWNER BEARS THAT ARE NOT UNDER CONTRACTOR'S CONTROL. DEBRIS DOES NOT ENTER INTERIOR EXECUTION OF DEMOLITION AND ALTERATION WORK SHALL PROCEED IN A MANNER AS TO INTERFERE AS LITTLE AS POSSIBLE WITH FUNCTIONS AND NORMAL OPERATIONS OF THE EXISTING BUILDING AND WITH SAFETY AND PRIVACY OF THOSE RESIDING AND/OR WORKING IN AND ABOUT PREMISES. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOME EFFECTED BY CONSTRUCTION DEBRIS.
- EXISTING**  
PRIOR TO REMOVING EXISTING STRUCTURE CONTRACTOR SHALL PROVIDE BRACING AND SUPPORT TO ANY STRUCTURAL MEMBERS BEING BY THE REMOVED CONSTRUCTION. DEMOLITION AND MAINTENANCE SHALL BE PERFORMED DURING DEMOLITION AND CONSTRUCTION SHOULD BEING BLOCK CONCRETE OR BRICK WALLS, BEAMS AND/OR COLUMNS BE DISCOVERED DURING DEMOLITION WHICH ARE NOT NOTED ON PLANS CONTRACTOR SHALL STOP WORK AND NOTIFY ARCHITECT IMMEDIATELY.
- SUPERVISION**  
SUPERVISORS OF CONTRACTORS, THE GENERAL CONTRACTOR OR HIS QUALIFIED REPRESENTATIVE SHALL BE PRESENT WHEN SUBCONTRACTORS ARE ON THE JOB.
- PROTECTION OF LANDSCAPING**  
THE CONTRACTOR SHALL PROTECT FROM DAMAGE, WITHOUT LIMITING THE SCOPE THEREOF, EXISTING LANDSCAPING, GRASS, GRUBS, PLANTS, AND TREES, ALL LANDSCAPING SHALL REMAIN NOTER OWNER'S LANDSCAPING SHALL BE REFINISHED IN ANY WAY.
- WORKMANSHIP**  
ALL WORK SHALL BE PERFORMED IN A MANNER CONSISTANT WITH THE BEST PRACTICES FOR THE RESPECTIVE TRADES AND QUALITY SPECIFIED. WORK NOT CONSISTANT WITH THE TRADES HIGHEST LEVEL OF WORKMANSHIP SHALL BE REJECTED. ANY WORK REJECTED SHALL BE DONE AT CONTRACTOR'S EXPENSE. CORRECTION OF DEFECTIVE WORK SHALL BE STARTED NOT LATER THAN 5 DAYS AFTER NOTICE IS GIVEN TO THE CONTRACTOR AND SHALL PROCEED WITHOUT DELAY UNTIL WORK IS COMPLETED.
- PROTECTION OF PERSONS AND PROPERTY**  
SAFETY PRECAUTIONS AND PROCAINS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROCAINS IN ACCORDANCE WITH THE WORK.
- SAFETY OF PERSONS AND PROPERTY: THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTION TO PREVENT DAMAGE INJURY OR LOSS TO ALL EMPLOYEES ON THE WORK AND ALL OTHER PERSONS WHO MAY BE AFFECTED.**

3	LEGEND
---	--------

VERIFY LOCATION OF ALL EXISTING OPENINGS, STRUCTURAL WALLS AND COLUMNS LABELLED "E" ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

A. VERIFY LOCATION OF ALL EXISTING OPENINGS, STRUCTURAL WALLS, AND PLUMBING.

B. WINDOWS AND DOORS LABELLED "E" ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

C. THIS SHEET IS BOUND BY THE REQUIREMENTS ON COVER SHEET, SHEET SP-1, AND GENERAL NOTES.

D. SHOULD EXISTING BLOCK, CONCRETE, STRUCTURAL WALLS, COLUMNS OR PLUMBING OR ELECTRICAL BE DISCOVERED DURING DEMOLITION WHICH ARE NOT NOTED ON THE PLANS, CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY ARCHITECT.

4	NOTES
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VERIFY LOCATION OF ALL EXISTING OPENINGS, STRUCTURAL WALLS AND COLUMNS LABELLED "E" ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

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B. WINDOWS AND DOORS LABELLED "E" ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

C. THIS SHEET IS BOUND BY THE REQUIREMENTS ON COVER SHEET, SHEET SP-1, AND GENERAL NOTES.

D. SHOULD EXISTING BLOCK, CONCRETE, STRUCTURAL WALLS, COLUMNS OR PLUMBING OR ELECTRICAL BE DISCOVERED DURING DEMOLITION WHICH ARE NOT NOTED ON THE PLANS, CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY ARCHITECT.

**IN-SITE DESIGN GROUP INC**

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HOLLYWOOD, FLORIDA 33020  
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PROJECT COORDINATOR  
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SAMUEL R. UCCIELLO

SEAL

STATE OF FLORIDA LICENSE NO. A91997

THIS CONTRACT AND SPECIFICATIONS ARE THE PROPERTY OF IN-SITE DESIGN GROUP INC. NO PART OF THIS CONTRACT OR SPECIFICATIONS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. IN-SITE DESIGN GROUP INC. SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES.

PROJECT: SULLIVAN RESIDENCE

ADDRESS: 1128 N. NORTLAKE DR  
HOLLYWOOD, FL 33015

DISTRIBUTION: APRIL 16, 2010  
HISTORIC BOARD SUBMITTAL  
PETITION NO. 10-C-17

REVISIONS

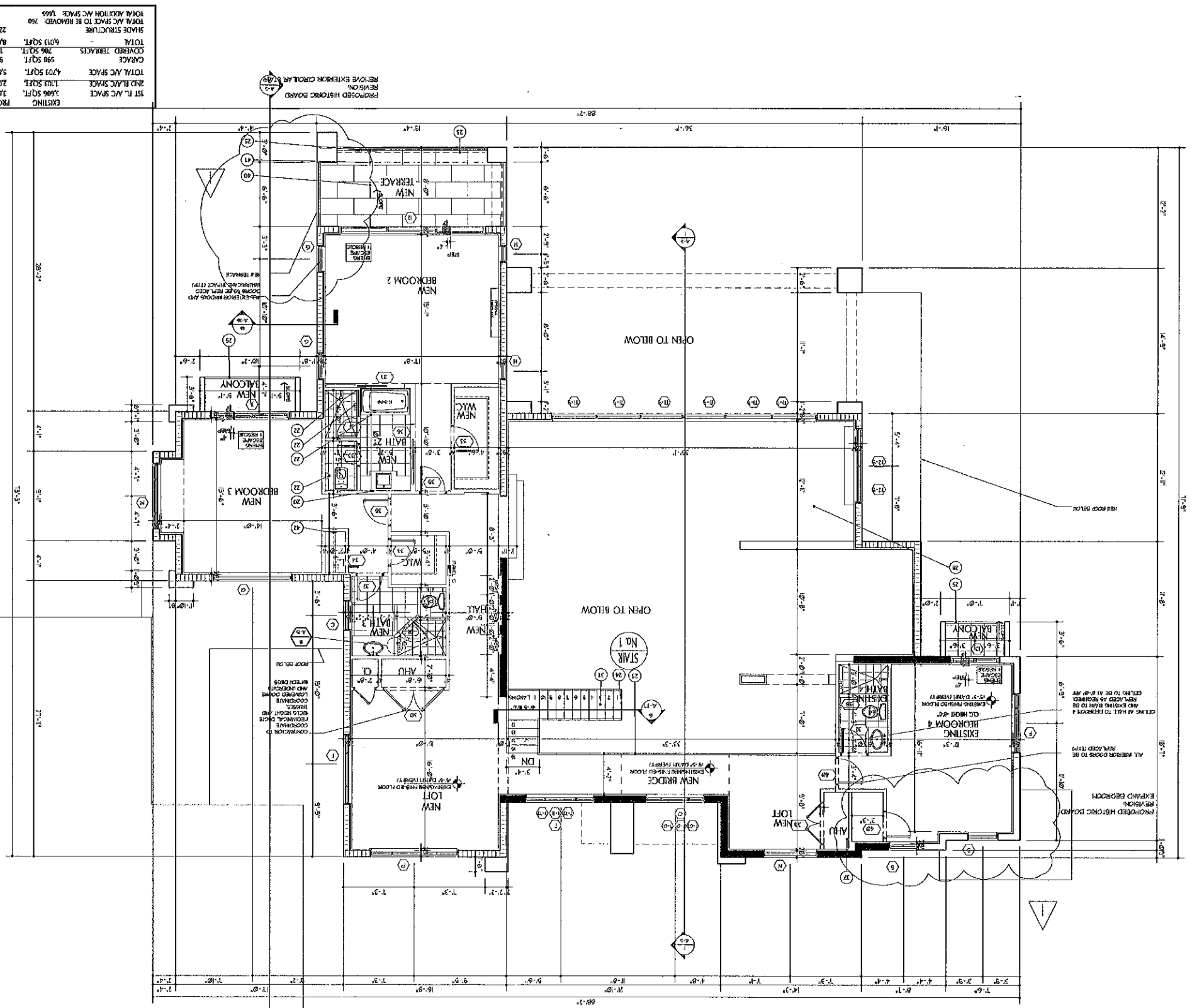
Date of Issue: APRIL 15, 10

A-7  
FLOOR PLANS

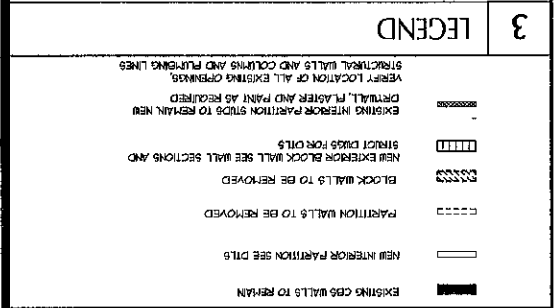








EXISTING	3,066 SQ.FT.	1,806 SQ.FT.
1ST FL. A/C SPACE	2,025 SQ.FT.	1,806 SQ.FT.
2ND FL. A/C SPACE	4,709 SQ.FT.	5,831 SQ.FT.
TOTAL A/C SPACE	598 SQ.FT.	7,637 SQ.FT.
CARAGE	796 SQ.FT.	1,298 SQ.FT.
COVERED TERRACES	6,013 SQ.FT.	8,099 SQ.FT.
TOTAL	-	222 SQ.FT.
SHADE STRUCTURE	-	222 SQ.FT.
TOTAL ADDITION A/C SPACE	666	-



**2 KEY NOTES**

EXISTING CDB WALLS TO REMAIN  
NEW INTERIOR PARTITION SEE DLS  
PARTITION WALLS TO BE REMOVED  
BLOCK WALLS TO BE REMOVED  
NEW EXTERIOR BLOCK WALL SEE WALL SECTIONS AND REVISIONS

EXISTING INTERIOR PARTITION STUDS TO REMAIN NEW EXTERIOR BLOCK WALL AS REQUIRED  
REVISIONS  
HISTORIC BOARD REVISIONS  
JUNE 8-2011

**3 LEGEND**

STRUCTURAL WALLS AND COLLARS AND PILING LINES  
VERIFY LOCATION OF ALL EXISTING OPENINGS

**4 AREAS TO BE ADDED 2ND FL**



**A-9 NEW FLOOR PLAN**

DATE OF ISSUE: JULY 11, 2010

PROJECT: SULLIVAN RESIDENCE

ADDRESS: 1128 N. HORTLAWE DR. HOLLYWOOD, FL 33119

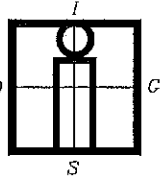
DISTRICTION: APRIL 16, 2010  
HISTORIC BOARD SUBMITTAL  
VARIANCE SUBMITTAL  
PERMIT SUBMITTAL  
B-10-102987  
JUNE 8-2011  
HISTORIC BOARD REVISIONS

STATE OF FLORIDA LICENSE NO. 14081897  
SEAL

DESIGN GROUP INC  
1839 KODAMA STREET  
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**IN-SITE  
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GROUP INC**

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SEAL

STATE OF FLORIDA LICENSE No. AR-0019997

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WITHOUT SPECIFIC WRITTEN CONSENT OF  
THE COMPANY. THE CONTRACTOR MUST CHECK  
AND VERIFY ALL DIMENSIONS OF THE JOB AND  
BE RESPONSIBLE FOR ANY VARIATIONS AND  
DISCREPANCIES TO THE PROJECT BEFORE  
COMPLETION OF WORK. DRAWINGS ARE NOT  
TO BE SCALED.

PROJECT:  
SULLIVAN RESIDENCE

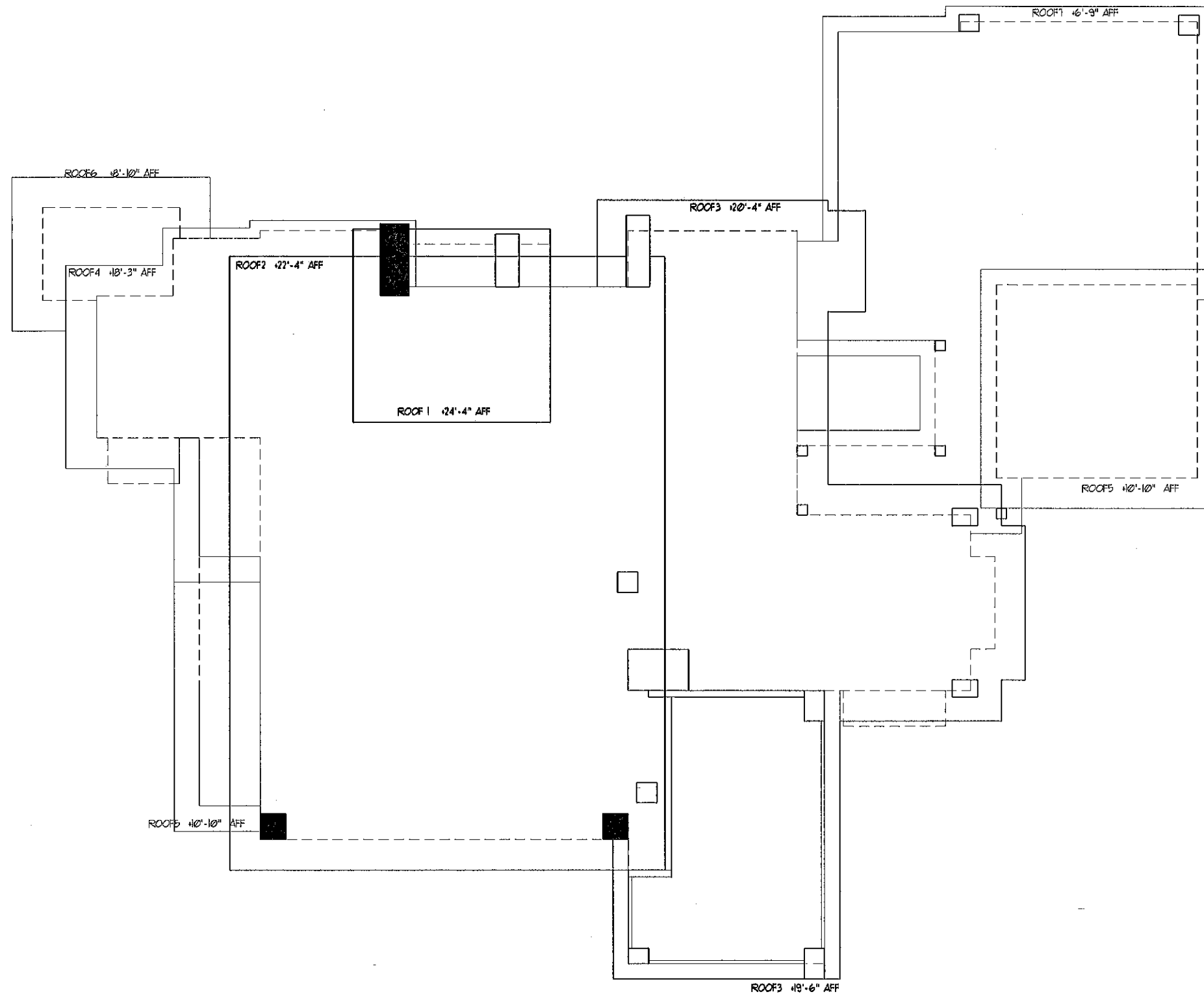
ADDRESS:  
1128 N. NORTHLAKE DR.  
HOLLYWOOD, FL 33019

DISTRIBUTION  
APRIL-16-2010  
HISTORIC BOARD  
SUBMITTAL  
PETITION NO: 10-C-17

REVISIONS

Date Of Issue  
APRIL-15-10

ROOF PLAN  
**A-10**



1 NEW ROOF PLAN  
SCALE = 3/16" = 1'-0"



**ATTACHMENT B**  
Aerial Photograph



**1128 N. Northlake Drive**



**ATTACHMENT C**  
**Zoning and Land Development Regulations**  
**Section 5.6.E & F, Certificate of Appropriateness**

### Administrative Regulations

<i>Site</i>	<i>Name</i>	<i>Address</i>
HPOS-N	Garfield Street Paddleball Courts	Bounded by Surf Rd. to the western fence of the Paddleball Courts and from Connecticut Street to Garfield Street
HPOS-12	Bryan House (4210 N. 58th Avenue)	4220 N. 58th Avenue
HPOS-13	Dunham's Grocery	2410 Taylor Street
HPOS-14	Coral Rock House	310 New York Street
HPOS-15	Southwinds Apartments	347,349,351 Madison Street
HPOS-16	Hollywood Beach Apartments	322 Monroe Street
HPOS-17		2461 Taylor Street
HPOS-18	United States Customs House	1700 Spangler Blvd.
HPOS-19	Weltzman House	1519 Harrison Street

c. Historic Multiple Property Resource Listing District (HMPRLD).

<i>Site</i>	<i>Name</i>	<i>Location</i>
HMPRLD - 1	Lakes Area Historic Multiple Resource Listing District	Properties south of Johnson St. west of the Intracoastal Waterway, north of Washington St. and east of S. 17th Avenue to Polk St. and then east of N. 14th Avenue to Johnson St.

8. Issuance of a Certificate of Appropriateness for projects in the Historic Districts and Sites shall be based on the Design Guidelines for Historic Properties and Districts adopted by the City Commission as amended from time to time.
  9. Historic Properties Database. Historic and Non-Historic Buildings in a locally designated historic district or site should all be listed in the city's database which may be revised from time to time. The database shall be maintained by the Department of Planning and Development Services.
- E. Certificate of Appropriateness for demolition, repair or new construction. A Certificate of Appropriateness issued under the authority of the Historic Preservation Board shall be required prior to the issuance of any permit for new construction, demolition, alteration, repair, signage or other physical modification or development affecting any property designated under the provisions of this section unless the permit applied for is exempted pursuant to § 5.6. B, 2. A Certificate to Dig shall be required prior to the initiation of any development involving the excavation or fill on a site or in a district designated as archaeologically significant pursuant to the provisions of this section. The procedure to obtain a Certificate to Dig, or to designate a site as archaeologically significant, shall be the same as indicated below for a Certificate of Appropriateness.

## Hollywood — Zoning and Land Development Regulations

### 1. Application.

- a. An application for a Certificate of Appropriateness may be filed with the Board at the same time or in advance of the submission of an application for a building permit. The application must be approved by the Board prior to the issuance of a building permit.
- b. All applications involving demolition, new building construction, additions to existing buildings, major renovation work or substantial alteration of a designated Historic Structure or Site shall be on a form provided by the Office of Planning and shall include such information as the Board may determine is needed to allow for complete evaluation of the proposed demolition, construction and other physical improvements, alterations or modifications including, but not limited to, the following:
  - (1) Written description of proposed action;
  - (2) Survey;
  - (3) Complete plot plan;
  - (4) Materials containing detailed data as to architectural elevations and plans showing proposed changes and existing conditions to be preserved;
  - (5) Preliminary plans showing new construction in cases of demolition;
  - (6) A financial feasibility study of the new project in cases of demolition and a feasibility study for an existing structure which addresses the possibility of substantially renovating or operating the existing Historic Structure. Consideration of parking needs and demands shall be addressed within the feasibility study, as well as alternative methods of providing parking. The study will also determine whether the retention of the building would deny the owner of all economically viable uses of the property.
  - (7) A request for a Certificate of Appropriateness for demolition shall include the following in addition to the above:
    - (a) The exact date and time demolition is to occur;
    - (b) A structural report on the building's condition, prepared by a licensed structural engineer, a survey, and detailed site plans and elevations

## Administrative Regulations

showing the extent of the demolition. Photographs of all exterior elevations and architectural elevations shall also be included. The structural engineer shall also submit documentation demonstrating that liability insurance has been obtained in an amount which is equal to or exceeds the value of that portion of the building which will be retained;

- (c) An application for a partial demolition of the building shall include a determination from a licensed structural engineer that the structural integrity of the building, or portions thereof, will not be compromised by the demolition work. During the time demolition work is occurring, the owner shall have a licensed structural engineer on the property who shall insure that the work is proceeding in accordance with the approved building permit plans. It shall be the responsibility of the licensed structural engineer and property owner to ensure, during the time demolition work is occurring, that the structural integrity of that portion of the building which is to remain shall not be compromised;
- (d) The plans shall establish a "safe zone" so that no demolition work is permitted within a preset distance of that portion of the building to be preserved; and
- (e) In the event that the Building Official determines that the work is not proceeding according to the approved plans, or if he/she determines the demolition work will compromise that portion of the building which shall remain, then a stop work order shall be immediately issued.

### 2. Review procedure.

- a. All applications involving demolition, new building construction, additions to existing buildings, major renovation work or substantial alteration of a designated structure or site shall be placed on the agenda of the Historic Preservation Board for its review and consideration within 60 days after the date of receipt of a completed application accompanied by the required documentation.
- b. The Board shall approve, deny, approve with conditions or continue action on all applications for a Certificate of Appropriateness, except for a Certificate of Appropriateness for Demolition of Historic Structures, in which case the Board shall consider such requests pursuant to Section 5.6.F.4 herein. In any case, the Board shall act on an application within 60 days from the date of the receipt of a completed submission. Provided, however, that if specific revisions are requested by the Board, the Board may have an additional 30 days in which to render a decision. Upon the written approval of the applicant, or the applicant's oral consent stated at a Board hearing, and by motion of the Board, the review period may be extended beyond the maximum 90 days provided for herein.

## Hollywood — Zoning and Land Development Regulations

- c. A Certificate of Appropriateness for the Demolition of designated Historic Buildings, structures, improvements or Historic Sites, as listed in the Historic Properties Database, shall only be considered by the Board following a public hearing. Historic status shall be determined by the Board finding that the structure meets at least one of the review criteria for Historic Designation as set forth in Section 5.6.D.3.b. At least ten days prior to the public hearing date, a description of the request with the time and place of such hearing shall be posted on the property by the property owner, and notice shall be given by mail to the owners of record of land lying within 300 feet. The addresses for the property owners of record shall be obtained from the Broward County Property Appraiser's records. If the Historic Preservation Board determines the status of the property to be Non-Historic, no further action is required and a Certificate of Appropriateness for Demolition shall be issued.
- d. A building permit for the new construction must be issued prior to the issuance of a building permit for demolition.
- e. All applications for Certificates of Appropriateness involving exterior structural repairs and minor physical improvements or alterations (as may be more specifically defined by the Board in its By-Laws and Application Procedures) shall be reviewed by the Office of Planning Director or the Board. The Office of Planning Director shall approve, approve with conditions, or deny a Certificate of Appropriateness within 30 days from the date of receipt of a completed submission; the applicant may agree to an extension of this review time.
- f. In the case of a denial of an application by the Office of Planning Director, the applicant may request consideration of the completed application by the Historic Preservation Board which shall proceed to review the application in accordance with the procedures set forth in this subsection. The Board may concur, modify, or reverse the Office of Planning Director's decision.
- g. The approval of a Certificate of Appropriateness or a Certificate to Dig shall not excuse the applicant of responsibility to comply with all other zoning and building laws and regulations of the city, county and state, including the receipt of necessary zoning variances, site plan approvals, concurrency review and building permits.
- h. All work performed pursuant to the issuance of any Certificate of Appropriateness shall conform to the requirements of that certificate. The Chief Building Official is designated as the individual to assist the Board by making necessary inspections in connection with enforcement of this section and shall be empowered to issue a stop work order if performance is not in accordance with the issued certificate or this section. No work shall proceed as long as a stop work order continues in effect. Copies of inspection reports shall be furnished to the Historic Preservation Board and copies of any stop work orders both to the Historic Preservation Board and the applicant. The Chief Building Official shall be responsible for ensuring that any work not in accordance with an issued Certificate of Appropriateness shall be corrected to comply with the Certificate of Appropriateness prior to withdrawing the stop work order.

## Administrative Regulations

- i. For the purpose of remedying emergency conditions determined to be dangerous to life, health or property, nothing contained herein shall prevent the making of any temporary construction, reconstruction or other repairs to a building or site pursuant to an order of a government agency or a court of competent jurisdiction. The owner of a building damaged by fire or natural calamity shall be permitted to stabilize the building immediately without City Commission approval, and to rehabilitate at a later date under the procedures as set forth in this section.

### F. Decisions on Certificates of Appropriateness.

1. Certificate of Appropriateness of Design. A decision on an application for a Certificate of Appropriateness, by either the Board or the Director of the Department of Planning and Development services, for the design of new building construction, additions to an existing building, major renovation work or substantial alteration shall be based upon evaluation of the compatibility with the following criteria: integrity of location, design, setting, materials, workmanship and association.
  - a. The Director of the Department of Planning and Development Services is authorized to approve Certificates of Appropriateness for Design for the projects set forth below:
    1. Additions (attached or detached) that contain not more than 25% of the floor area of the primary building but not to exceed 25,000 sq. ft.
    2. Landscape projects, decks and patios that contain less than 10,000 sq. ft. in the aggregate.
    3. Construction, repair, or rehabilitation of new or existing nonstructural walls, fences, at-grade parking lots, signs, including change of copy, canopies, and awnings.
    4. Installation of any mechanical or plumbing equipment that is visible from the public right-of-way. This review is limited to methods of screening the equipment from public view.
    5. Any other construction, which in the discretion of the Director of the Department of Planning and Development Services is similar in size and impact as the work listed above.
    6. The Board is authorized to consider all other projects for Certificates of Appropriateness for Design not delineated in 1.a.1 through 5 above.
2. Where particular site conditions and restraints or unusual circumstances applicable to a particular applicant's structure exist and strict enforcement of the provisions of this section would result in an undue economic hardship to the applicant, the Board has jurisdiction to vary or modify the provisions in this section, including adherence to the adopted Design Guidelines for Historic Properties and Districts.

## Hollywood — Zoning and Land Development Regulations

3. An approved Certificate of Appropriateness for Design, together with any conditions or limitations imposed by the Board, shall be in written form and attached to the Site Plan and/or the schematics submitted as part of the permit applications. Copies of the Certificate shall be kept on file with the Department of Planning and Development Services and shall be transmitted to the Chief Building Official. The applicant shall receive a copy of the Certificate of Appropriateness. When a Certificate of Appropriateness for Design has been granted by either the Board, the Director of Planning and Development Services, or the City Commission based upon an appeal in accordance with the regulations set forth in this Article, such grant shall become null and void unless the appropriate building or other permit or license is applied for within 24 months of the date of such decision by the Board, the Director of the Department of Planning and Development Services, or, if applicable, the City Commission. However, an extension of up to 24 months may be granted in the same manner as the initial request, provided an application for such extension is filed prior to the expiration of the original approval, upon a showing that there has not been a significant change in the circumstances influencing the original approval. If an extension has been granted or other permit or license, or the extension has been denied, then the applicant's Certificate of Appropriateness for Design shall become null and void then the applicant will be required to re-apply for any and all approvals necessary.
4. Certificate of Appropriateness for Demolition.
  - a. Demolition of a historically designated building, structure, improvement or site may occur pursuant to an order of a government agency or a court of competent jurisdiction or, if granted, pursuant to an application by the owner for a Certificate of Appropriateness for the demolition of a designated historic building, structure, improvement or site.
  - b. Government agencies, having the authority to demolish unsafe structures, shall receive notice of historic designation of individual buildings, structures, improvements or sites, districts or archeological sites pursuant to this section. The Historic Preservation Board shall be deemed an interested party and shall be entitled to receive notice of any public hearings conducted by such government agency regarding demolition of historically designated structures or buildings. The Board may make recommendations and suggestions to the government agency and the owner(s) relative to the feasibility of and the public interest in preserving the historically designated structure or building.
  - c. A Certificate of Appropriateness for Demolition of designated Historic Buildings, structures, improvements or Historic Sites, as listed in the Historic Properties Database, shall only be considered by the Board following a public hearing. At least ten days notice prior to the public hearing date, a description of the petition request, with the time and place of such hearing, shall be posted on the property by the property owner and mail notice shall be given to all the owners of properties lying wholly or partly within 300 feet of the land subject to said petition. If the Board determines the status of the property is Non-Historic, no further action is required and a Certificate of Appropriateness for Demolition shall be issued. If the Board determines that the status of the property is Historic, a recommendation by the Board shall be forwarded to the City Commission. The Board's recommendation shall be based upon the evaluation criteria set forth in subsection e. below.

### Administrative Regulations

- d. No permit for voluntary demolition of a historically designated building, structure, improvement or site shall be issued to the owner(s) thereof until an application for a Certificate of Appropriateness for Demolition has been submitted and approved pursuant to the procedures in this section. In determining its recommendation, the Historic Preservation Board shall be guided by the criteria set forth in subsection e. below.
- e. Evaluation criteria. The City Commission and the Board shall consider the following criteria in evaluating applications for a Certificate of Appropriateness for Demolition of buildings, structures, improvements or sites:
- (1) The building, structure, improvement, or site is designated on either a national, state, or local level as an historic preservation district or an architectural landmark or site.
  - (2) The building, structure, improvement, or site is of such design, craftsmanship, or material that it could be reproduced only with great difficulty and/or expense.
  - (3) The building, structure, improvement, or site is one of the last remaining examples of its kind in the neighborhood, the county, or the region.
  - (4) The building, structure, improvement, or site contributes significantly to the historic character of a historically designated district.
  - (5) Retention of the building, structure, improvement, or site promotes the general welfare of the city by providing an opportunity for study of local history, architecture, and design or by developing an understanding of the importance and value of a particular culture and heritage.
  - (6) There are definite plans for reuse of the property if the proposed demolition is carried out, and those plans will adversely affect on the historic character of the Historic District.
  - (7) The Unsafe Structures Board has ordered the demolition of a structure or the feasibility study determines that the retention of the building would deny the owner of all economically viable uses of the property.
  - (8) The information listed in the Historic Properties Database (a listing of historic and non-historic properties) has been considered as a guideline in determining whether a Certification of Appropriateness for Demolition should be issued.
- f. City Commission decision for Certificates of Appropriateness for Demolition of a Historic Structure. After consideration of the Historic Preservation Board's recommendation, at a duly notice public hearing, the City Commission may grant, grant with conditions, continue, or deny an application for a Certificate of Appropriateness for Demolition of a Historic Structure, as provided in this section. The decision of the City Commission shall be based upon the criteria set forth in e. above. Should the City Commission grant a continuance for Demolition, the length of such continuance shall be determined and prescribed by the Commission based



## Hollywood — Zoning and Land Development Regulations

upon the relative significance of the structure and the probable time required to arrange a possible alternative to demolition. The effective date of the stay shall be from the date of the Historic Preservation Board's public hearing.

- g. A building permit for the new construction must be issued prior to the issuance of a building permit for demolition.
- h. If the proposed demolition is for the purpose of constructing a parking garage, the Board shall only consider it if the parking garage is designed in a manner that is consistent with the Design Guidelines for Historic Properties and Districts, as amended from time to time, and/or the Design Review Manual for that particular district. If the district in which the property is located lists retail uses as an allowable use then the ground floor shall contain such uses. Historic buildings shall not be permitted to be demolished if the intended use is for an at-grade parking lot.
- i. Withdrawals or denial of applications for a Certificate of Appropriateness for Demolitions. Upon the withdrawal of an application after the initial public hearing by the applicant or the application is denied by the City Commission, a new application cannot be filed within 12 months of the date of the withdrawal or denial unless the decision of the City Commission is made without prejudice. The Historic Preservation Board and/or City Commission may permit withdrawals without prejudice at the time the application for such Certificate of Appropriateness is considered by the Board and/or City Commission.
- j. The Historic Preservation Board may require from the applicant a marker on the property which provides the historic background of the structure to be demolished.
- k. Fees. The amount of the application fee shall be set by resolution of the City Commission as that amount required to reimburse the city for all expenses associated with public notices and other administrative costs in connection with processing applications for a Certificate of Appropriateness for Demolition.

~~G. Historic Preservation Board and Development Review Board Joint Review of Projects. Historic Preservation Board and Development Review Board Joint Review of Projects shall only occur in accordance with Section 5.31.3 of this Article.~~

~~H. Maintenance of designated properties.~~

- ~~1. Nothing in this section shall be construed to prevent the ordinary maintenance or repair of any exterior elements of any building or structure which does not involve a change of design, appearance or material, and which does not require a building permit, or Certificate of Appropriateness for Demolition.~~
- ~~2. A building, structure, improvement or site that is the subject of an application for a Certificate of Appropriateness for Demolition shall not have its architectural features removed or destroyed prior to the Commission's decision. Owners of such property shall be required to maintain such properties in accordance with all applicable codes up to the time the Certificate of Appropriateness for Demolition is approved.~~

ATTACHMENT D  
Previously Approved  
Board Resolution

**CITY OF HOLLYWOOD  
HISTORIC PRESERVATION BOARD**

CFN # 109369756  
OR BK 47129 Pages 1874 - 1877  
RECORDED 06/08/10 11:45:19  
BROWARD COUNTY COMMISSION  
DEPUTY CLERK 1016  
#1, 4 Pages

**RESOLUTION NO. 10-CV-17**

A RESOLUTION OF THE HISTORIC PRESERVATION BOARD OF THE CITY OF HOLLYWOOD, FLORIDA, APPROVING A VARIANCE AND GRANTING A CERTIFICATE OF APPROPRIATENESS FOR DESIGN FOR EXTERIOR RENOVATIONS AND AN ADDITION TO A SINGLE FAMILY HOME LOCATED AT 1128 NORTH NORTHLAKE DRIVE IN THE LAKES AREA HISTORIC MULTIPLE RESOURCE DISTRICT AS MORE SPECIFICALLY DESCRIBED IN THE ATTACHED EXHIBIT "A" PURSUANT TO PROVISIONS OF THE CITY OF HOLLYWOOD ZONING AND LAND DEVELOPMENT REGULATIONS.

WHEREAS, the Historic Preservation Board (the Board) is charged with the responsibility of preserving and conserving properties of historical, architectural and archeological merit in the City of Hollywood; and

WHEREAS, the Board is duly empowered to consider a request for a variance involving property located within the Historic District; and

WHEREAS, a Certificate of Appropriateness for Design is required prior to the issuance of a building permit for new building construction, additions to existing buildings, major renovation work or substantial alteration based upon evaluation of the compatibility of the physical alteration or improvement with the criteria listed in the City of Hollywood Zoning and Land Development Regulations; and

WHEREAS, Peter Sullivan, the Applicant, (File Number 10-CV-17), requested a variance to waive the required combined side yard of 32.6 feet (with no side yard less than 7.5 feet) to allow a combined side yard setback of 17 feet (minimum 5.5 feet on the east side) and a Certificate of Appropriateness for Design for exterior renovations and an addition to a single family home located at 1128 North Northlake Drive as more particularly described in the attached Exhibit "A" incorporated herein by reference; and

WHEREAS, an advertised public meeting was held on April 27, 2010 to consider the Applicant's request; and

WHEREAS, the Board reviewed the Applicant's request, reviewed the evidence submitted and testimony received at the public hearing, and made the following findings pursuant to the criteria listed in Section 5.6.J of the City's Zoning and Land Development Regulations:

**Return to: Office of Planning  
City of Hollywood  
2600 Hollywood Boulevard  
Room 315  
Hollywood, FL 33022-9045**



- (a) That the requested variance maintains the basic intent and purpose of the subject regulations, particularly as it affects the stability and appearance of the city;
- (b) That the requested variance is otherwise compatible with the surrounding land uses and would not be detrimental to the community;
- (c) That the requested variance is consistent with and in furtherance of the Goals, Objective and Policies of the adopted Comprehensive Plan, as amended from time to time, the Neighborhood Plan and all other similar plans adopted by the city; and
- (d) That the need for the requested variance is not economically based or self-imposed.
- (e) That the variance is necessary to comply with state or federal law and is the minimum variance necessary to comply with applicable law, and

WHEREAS, after applying the criteria stated above the Board determined that the variance should be granted;

WHEREAS, the Board reviewed the Applicant's request for a Certificate of Appropriateness for Design for an addition to an existing single family home, reviewed the evidence submitted and testimony received at the public hearing, and applied the criteria for granting a Certificate of Appropriateness for Design as contained in the Section 5.6.F.1 of the City's Zoning and Land Development Regulations as follows:

1. The criteria for reviewing a request for a Certificate of Appropriateness for Design set forth in Section 5.6.F.1 includes: integrity of location, design, setting, materials, workmanship, and association; and

WHEREAS, after applying the criteria stated above the Board determined that the Certificate of Appropriateness for Design should be granted;

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION BOARD OF THE CITY OF HOLLYWOOD, FLORIDA:

Section 1: That the Board, after hearing all evidence submitted and reviewing the Applicant's request and Staff Summary Report and hearing testimony from all parties and public speakers, approves the Applicant's request for a variance to waive the required combined side yard of 32.6 feet (with no side yard less than 7.5 feet) to allow a combined side yard setback of 17 feet (minimum 5.5 feet on the east side) based on the plans submitted by the Applicant and reviewed by the Board.

(HISTORIC PRESERVATION BOARD RESOLUTION NO. 10-C-17)

Section 2: That the Board, after hearing all the evidence submitted and reviewing the Applicant's request and Staff Summary Report and hearing testimony from all parties and public speakers, approves the issuance of a Certificate of Appropriateness for Design based and the plans submitted and approved by the Board, with the following conditions: i) That a Unity of Title in a form acceptable to the City Attorney be submitted prior to the issuance of permits and recorded in the Broward County Public Records prior to the issuance of a Certification of Occupancy (C/O).

Section 3: That the Office of Planning is hereby directed to forward a copy of this Resolution to the Applicant and the owner of the property with respect to which the request was made. This Resolution will be delivered to the City Clerk to be recorded in the public records of Broward County, as provided by the applicable provisions of Article 5 in the Zoning and Land Development Regulations. A copy shall be furnished to any enforcement official.

PASSED AND ADOPTED THIS 27 DAY OF APRIL, 2010.

RENDERED THIS 3<sup>rd</sup> DAY OF JUNE, 2010.

  
\_\_\_\_\_  
TERRY CANTRELL, BOARD CHAIR

APPROVED AS TO FORM & LEGALITY  
For the use and reliance of the Historic  
Preservation Board of the City of  
Hollywood, Florida only

  
\_\_\_\_\_  
DENISE MANOS,  
BOARD ATTORNEY

(HISTORIC PRESERVATION BOARD RESOLUTION NO. 10-CV-17)

**LEGAL DESCRIPTION:**

Lot 2, Block 42 less the North 30 feet of said lot 2 for street right-of-way, and including the East 50.50 feet of lot 1, Block 42, less the North 30 feet of said Lot 1 for street right-of-way, and including all that part of Pierce Street and that part of Block 70 lying South of said Lots 1 and 2 and lying North of Block 71 (called North Lake) bounded as follows: on the North by the South line of said Lots 1 and 2; on the South by the North line of Block 71 (called North Lake); on the East by the East line of said Lot 2 extended Southerly; and the West by a line parallel to and 50.50 feet West of the East line of said Lot 1 extending Southerly; according to the Plat of HOLLYWOOD LAKES SECTION as recorded in Plat Book 1, at Page 32, of the Public Records of Broward County, Florida; and ALSO

The West 30 feet of Lot 3 of Block 42 of HOLLYWOOD LAKES SECTION, according to the Plat thereof recorded in Plat Book 1, Page 32, of the Public Records of Broward County, Florida; and ALSO

All that parcel of land described and bounded as follows: Being a part of Pierce Street and a part of Block 70 of HOLLYWOOD LAKES SECTION, bounded on the North by the South line of the West 30 feet of lot 3 of Block 42 of said subdivision, on the South by Block 71, HOLLYWOOD LAKES SECTION, otherwise described as North Lake of said subdivision, on the East by the East line of the West 30 feet of Lot 3 of Block 42 extended in a Southerly direction, and on the West by the West line of Lot 3 of Block 42, extended in a Southerly direction, as shown on the Plat of HOLLYWOOD LAKES SECTION, recorded in Plat Book 1, Page 32, of the Public Records of Broward County, Florida; being all that parcel of land lying South of the West 30 feet of Lot 3 of Block 42 of HOLLYWOOD LAKES SECTION, extending to the North Lake in said subdivision; said lands situate, lying and being in Broward County, Florida.

EXHIBIT "A"